

PROPOSED APARTMENT BUILDING

2 PRESCOTT STREET AND 39 LINCOLN STREET
 READING, MASSACHUSETTS

SEPTEMBER 12, 2016



LOCUS AERIAL
 NTS

IMAGE FROM 2015 GOOGLE MAPS

SHEETS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 CONSTRUCTION MANAGEMANT
- 4 PROPOSED BUILDING LAYOUT
- 5 PROPOSED PARKING LAYOUT
- 6 PROPOSED GRADING & UTILITY
- 7 DETAILS
- 8 DETAILS

APPLICANT

READING MKM, LLC
 c/o KM DOVER LLC
 109 OAK STREET
 NEWTON, MA 02464

ARCHITECT

CUBE 3 STUDIO LLC
 360 MERRIMACK STREET
 BUILDING 5, FLOOR 3
 LAWRENCE, MA 01843

CIVIL/SURVEY

DECELLE-BURKE & ASSOCIATES
 1266 FURNACE BROOK PARKWAY
 SUITE 401
 QUINCY, MA 02169



REVISIONS:		
No.	DATE	PEER REVIEW RESPONSE
1.	10/17/16	



DeCELLE



BURKE

& Associates, Inc.

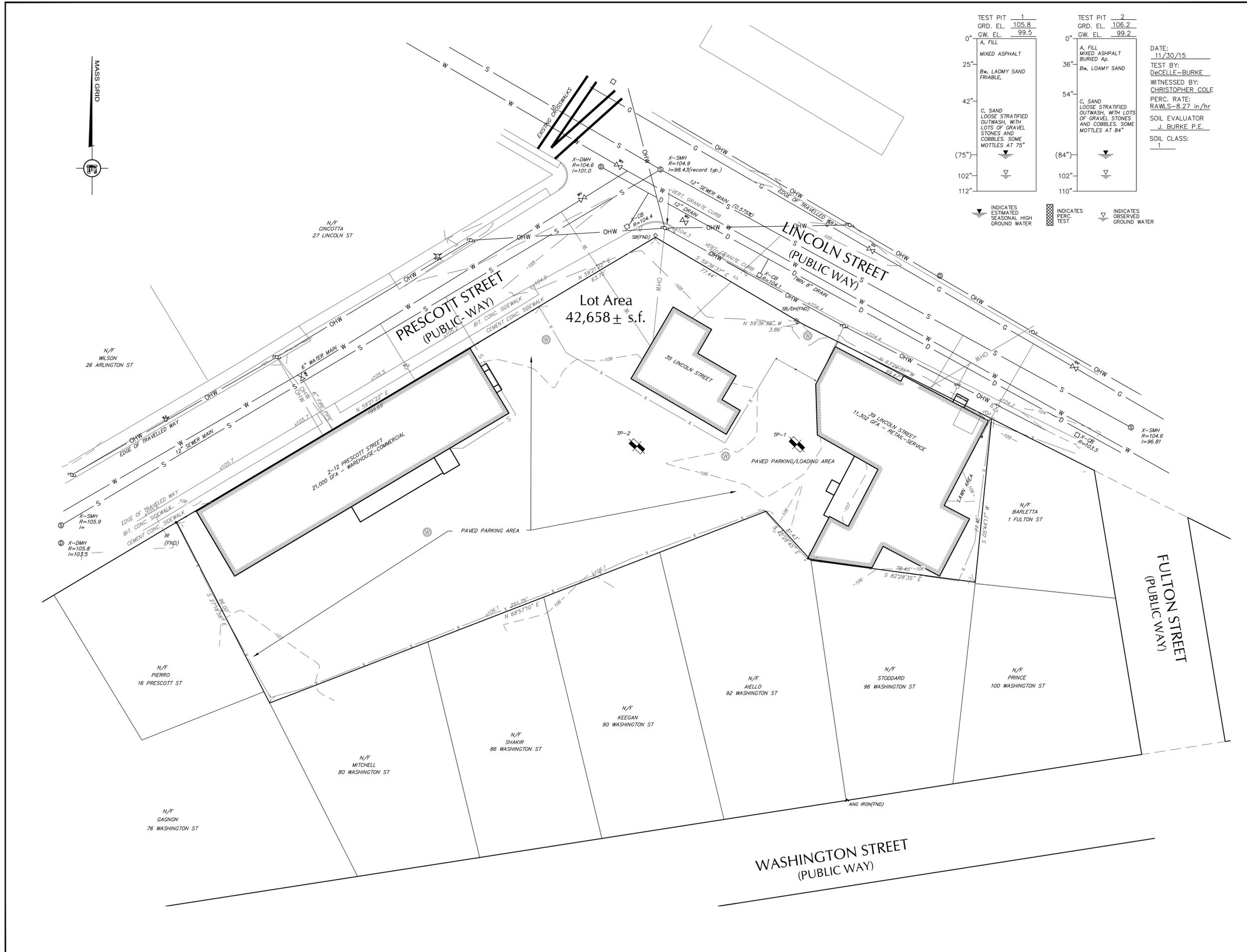
1266 Furnace Brook Parkway, Suite 401 Quincy, MA 02169
(617) 405-5100 (O) (617) 405-5101 (F)



DATE: 11/30/15
TEST BY: DeCELLE-BURKE
WITNESSED BY: CHRISTOPHER COLE
PERC. RATE: RAWLS-8.27 in/hr
SOIL EVALUATOR: J. BURKE P.E.
SOIL CLASS: 1

TEST PIT	1	2
GRD. EL.	105.8	106.2
GW. EL.	99.5	99.2
0"	A. FILL MIXED ASPHALT	A. FILL MIXED ASPHALT BURIED AP.
25"	Bw. LOAMY SAND FRIABLE.	Bw. LOAMY SAND
42"	C. SAND LOOSE STRATIFIED OUTWASH, WITH LOTS OF GRAVEL STONES AND COBBLES. SOME MOTTLES AT 75"	C. SAND LOOSE STRATIFIED OUTWASH, WITH LOTS OF GRAVEL STONES AND COBBLES. SOME MOTTLES AT 84"
(75")		
102"		
112"		

INDICATES ESTIMATED SEASONAL HIGH GROUND WATER
INDICATES PERC. TEST
INDICATES OBSERVED GROUND WATER



- GENERAL NOTES:
- LOCUS: ASSESSORS ID 016.0-0000-0224.0
016.0-0000-0225.0
016.0-0000-0226.0
 - RECORD OWNER FOR 2-12 PRESCOTT ST.: 2-12 PRESCOTT ST. LLC.
RECORD OWNER FOR 39-41 LINCOLN ST.: 39-41 LINCOLN ST. LLC.
RECORD OWNER FOR 31-35 LINCOLN ST.: KEVIN BROWN
 - DEED REFERENCE: BOOK 45430 PAGE 308
BOOK 45430 PAGE 311
BOOK 13982 PAGE 498
PLAN REFERENCE: BOOK 101 PAGE 41
BOOK 6158 PAGE 493
 - THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE IN OCTOBER 2014. ELEVATIONS SHOWN ON NAVD 88 DATUM.
 - EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH D&S-AE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
 - D&S-AE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
 - THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-0313E, DATED JUNE 4, 2010.
 - PARCEL IS ZONED S-15.
 - MIN. LOT AREA = 15,000 S.F.
MIN. WIDTH CIRCLE DIAMETER = 60FT
MIN. FRONTAGE = 100FT.
MIN. FRONT YARD = 20 FT.
MIN. SIDE YARD = 15 FT.
MIN. REAR YARD = 20 FT.
MAX. LOT COVERAGE = 25%
MAX. BUILDING HEIGHT = 35 FT
 - READING SEWER BASE CONVERSION TO NAVD88 -105.65'.

PROJECT TITLE & LOCATION:
**PROPOSED SITE PLAN
2 PRESCOTT ST. AND 39 LINCOLN ST.
READING, MA**

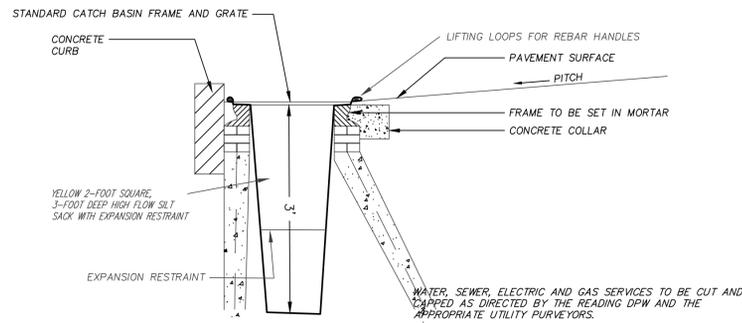
PLAN TITLE:
EXISTING CONDITIONS

PREPARED FOR:
**READING MKM, LLC
c/o KM DOVER LLC
109 OAK STREET SUITE G20
NEWTON, MA 02464**

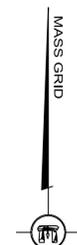
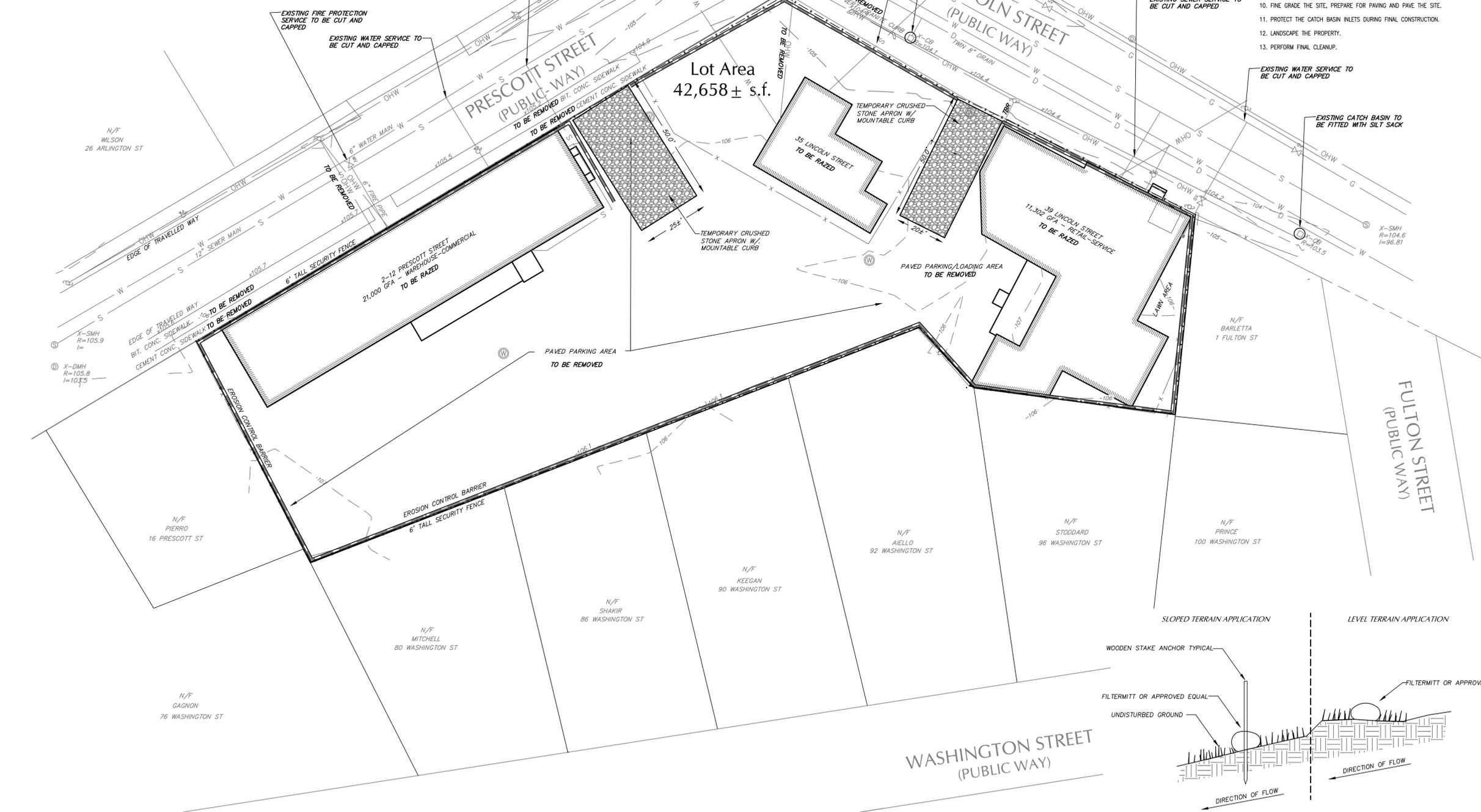
DATE: SEPTEMBER 12, 2016
REVISED: OCTOBER 17, 2016 - PEER REVIEW RESPONSE

JOB NUMBER: 14.034 SHEET 2 OF 8





PINCH SILT SACK BETWEEN FRAME & GRATE. INSPECT SILT SACK AFTER EACH STORM EVENT. PERFORM MAINTENANCE WHEN SILT AND DEBRIS IS 12" DEEP.
CATCH BASIN SILT SACK
 N.T.S.



- CONSTRUCTION SEQUENCING**
1. A CONSTRUCTION SAFETY FENCE LIMITING ACCESS TO THE SITE SHALL BE PLACED AROUND THE PERIMETER OF THE PROPERTY TO MAKE IT SECURE.
 2. CONTRACTOR TO PLACE EROSION CONTROL BARRIER AT LIMITS OF PROPERTY WHERE POSSIBLE PRIOR TO BUILDING REMOVAL. CONTRACTOR TO ALSO PLACE CRUSHED STONE APRON AT SITE EGRESS POINT TO MINIMIZE SEDIMENT TRANSPORT OFFSITE FROM CONSTRUCTION VEHICLE TIRES.
 3. CONTRACTOR TO DEMOLISH EXISTING BUILDINGS AFTER ALL PREPARATIONS ARE MADE INCLUDING, BUT NOT LIMITED TO, UTILITY DISCONNECTS, INTERIOR DEMOLITION, HAZARDOUS WASTE REMOVAL, ETC...CONTRACTOR TO HAVE A WATER TRUCK ON HAND TO MINIMIZE FUGITIVE DUST. ALL DEBRIS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
 4. ALL EXISTING UTILITIES SERVICING THE EXISTING BUILDING SHALL BE CUT AND CAPPED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE TOWN OF READING WATER AND SEWER DEPARTMENT AND WITH THE REGULATIONS PERTINENT TO THE OTHER UTILITY OWNERS THAT SERVICE THE BUILDING.
 5. THE REMAINING EROSION CONTROL DEVICES SHALL BE INSTALLED AT THE LIMITS OF THE PROPERTY AS SHOWN ON THE PLAN.
 6. STORMWATER CONTROL DEVICES SHALL BE INSTALLED IF EROSION CONTROL DEVICES DO NOT APPEAR TO CONTROL OFFSITE STORMWATER RUNOFF.
 7. THE FOUNDATION SHALL BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH THE APPROVED BUILDING PLANS. IF BACKFILL AND/OR STRUCTURAL FILL IS NEEDED TO BE STOCKPILED ONSITE THE CONTRACTOR SHALL PLACE THEM IN THE STOCKPILE AREA CONTAINED WITHIN EROSION CONTROL BARRIER.
 8. VERTICAL CONSTRUCTION OF THE BUILDING SHALL PROCEED ONCE THE FOUNDATION IS INSTALLED. UTILITY CONNECTIONS FOR THE BUILDING SHALL BE INSTALLED ONE APPROVED BY UTILITY PURVEYORS.
 9. ONCE HEAVY EQUIPMENT IS NO LONGER PROPOSED FOR USE ON THE SITE TO CONSTRUCT THE BUILDING THE UNDERGROUND STORMWATER RECHARGE FACILITIES CAN BE CONSTRUCTED ALONG WITH THE CATCH BASINS AND DRAIN MANHOLES. ONCE INSTALLED THE SITE CAN BE BACK FILLED AND ROUGH GRADED.
 10. FINE GRADE THE SITE, PREPARE FOR PAVING AND PAVE THE SITE.
 11. PROTECT THE CATCH BASIN INLETS DURING FINAL CONSTRUCTION.
 12. LANDSCAPE THE PROPERTY.
 13. PERFORM FINAL CLEANUP.

DeCELLE

BURKE & Associates, Inc.
 1266 Furnace Brook Parkway, Suite 401 Quincy, MA 02169
 (617) 405-5100 (O) (617) 405-5101 (F)

GENERAL NOTES:

DEMOLITION & CONSTRUCTION NOTES:

THE CONTRACTOR SHALL PLACE A 6' HIGH TEMPORARY SAFETY FENCE AROUND THE SITE PRIOR TO THE DEMOLITION ON SITE.

A WATER TRUCK SHALL BE ON-SITE DURING THE DEMOLITION PROCESS TO MINIMIZE FUGITIVE DUST.

A CRUSHED STONE APRON SHALL BE CONSTRUCTED AS SHOWN TO MINIMIZE TRUCK TIRES LEAVING SEDIMENT ON THE ROADWAYS.

ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.

THE SITE AND THE CRUSHED STONE APRON SHALL BE GRADED TO PREVENT ANY SITE RUNOFF FROM FLOWING OFF SITE.

CONSTRUCTION HOURS SHALL BE FROM 6:00AM TO 6:00PM MONDAY THROUGH SATURDAY, 9:00AM TO 4:00PM ON SUNDAYS.

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
 2 PRESCOTT ST. AND 39 LINCOLN ST.
 READING, MA

PLAN TITLE:

CONSTRUCTION MANAGEMENT

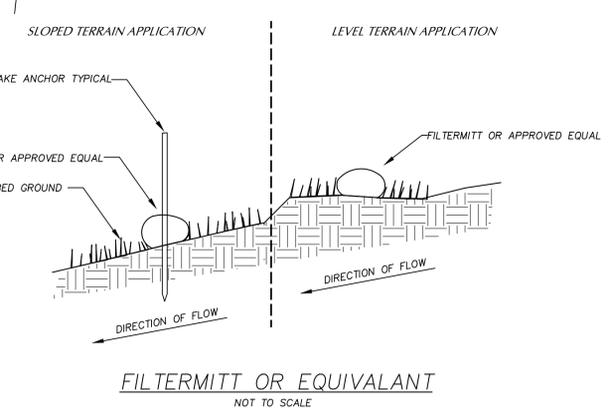
PREPARED FOR:

READING MKM, LLC
 c/o KM DOVER LLC
 109 OAK STREET SUITE G20
 NEWTON, MA 02464

DATE: SEPTEMBER 12, 2016
REVISED: OCTOBER 17, 2016 - PEER REVIEW RESPONSE

JOB NUMBER: 14.034 **SHEET** 3 OF 8

SCALE: 1"=20'





GENERAL NOTES:
1. LOCUS: ASSESSORS ID 016.0-0000-0224.0
016.0-0000-0226.0
RECORD OWNERS: 2-12 PRESCOTT ST LLC,
39-41 LINCOLN ST LLC.
DEED REFERENCE: BOOK 45430 PAGE 308
BOOK 45430 PAGE 311
PLAN REFERENCE: BOOK 101 PAGE 41
BOOK 6158 PAGE 493

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DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-0313E, DATED JUNE 4, 2010.
5. PARCEL IS ZONED S-15.
MIN. LOT AREA = 15,000 S.F.
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MAX. BUILDING HEIGHT = 35 FT

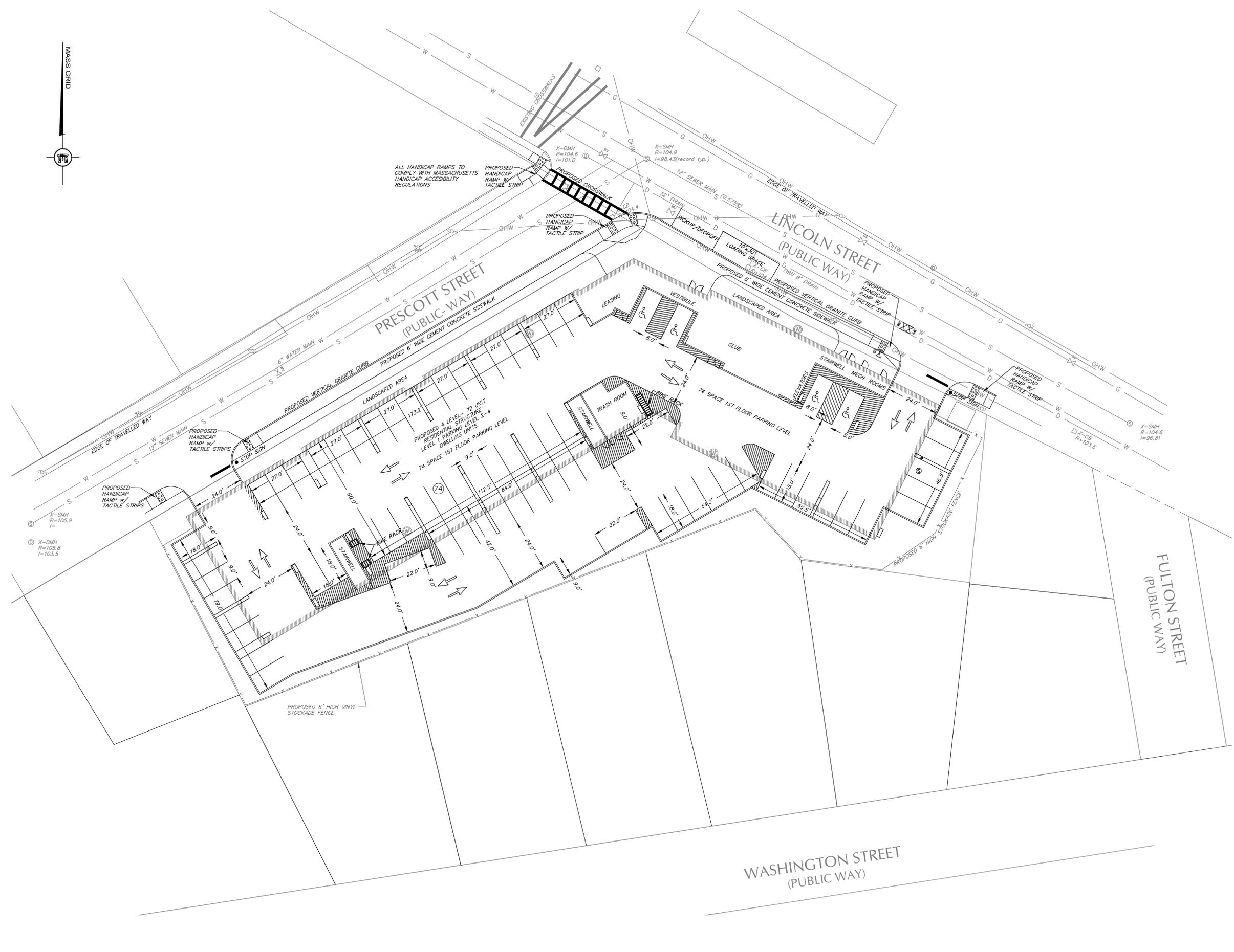
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PROPOSED SITE PLAN
2 PRESCOTT ST & 39 LINCOLN ST
READING, MA

PLAN TITLE:
PROPOSED PARKING LAYOUT

PREPARED FOR:
READING MKM, LLC
c/o KM DOVER LLC
109 OAK STREET SUITE G20
NEWTON, MA 02464

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JOB NUMBER: 14.034 **SHEET** 5 **OF** 8
SCALE: 1"=20'



ALL HANDICAP RAMPS TO COMPLY WITH MASSACHUSETTS HANDICAP ACCESSIBILITY REGULATIONS

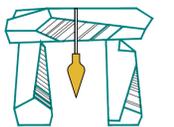
PROPOSED 4 LEVEL - 72 UNIT RESIDENTIAL STRUCTURE 2-4 LEVEL DWELLING UNITS
74 SPACE 1ST FLOOR PARKING LEVEL

WASHINGTON STREET (PUBLIC WAY)

FULTON STREET (PUBLIC WAY)

LINCOLN STREET (PUBLIC WAY)

PRESCOTT STREET (PUBLIC WAY)



GENERAL NOTES:

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 016.0-0000-0226.0
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 39-41 LINCOLN ST LLC.
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PROJECT TITLE & LOCATION:

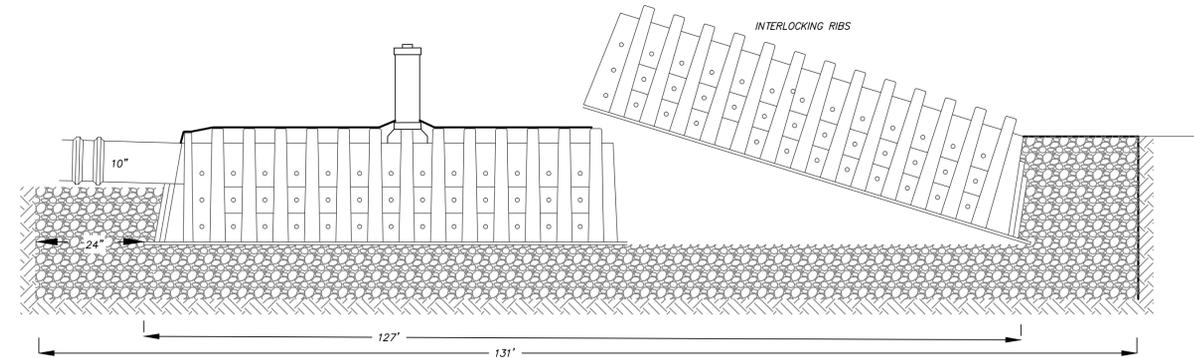
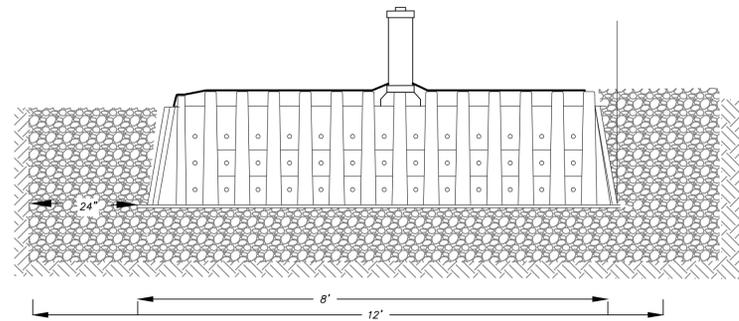
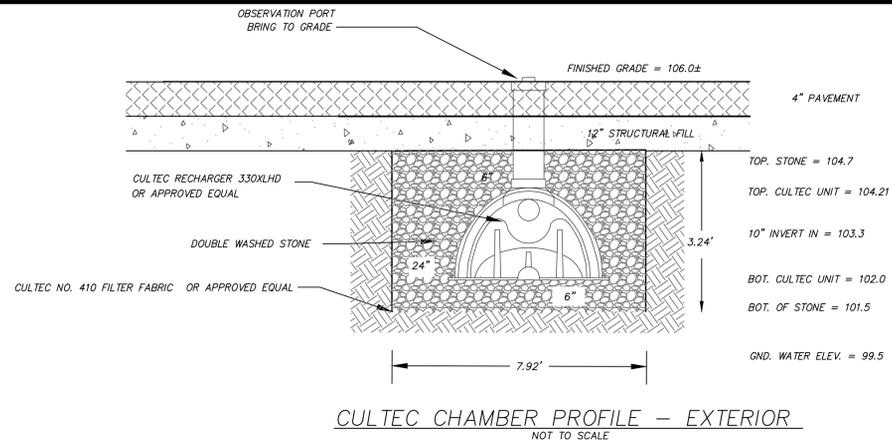
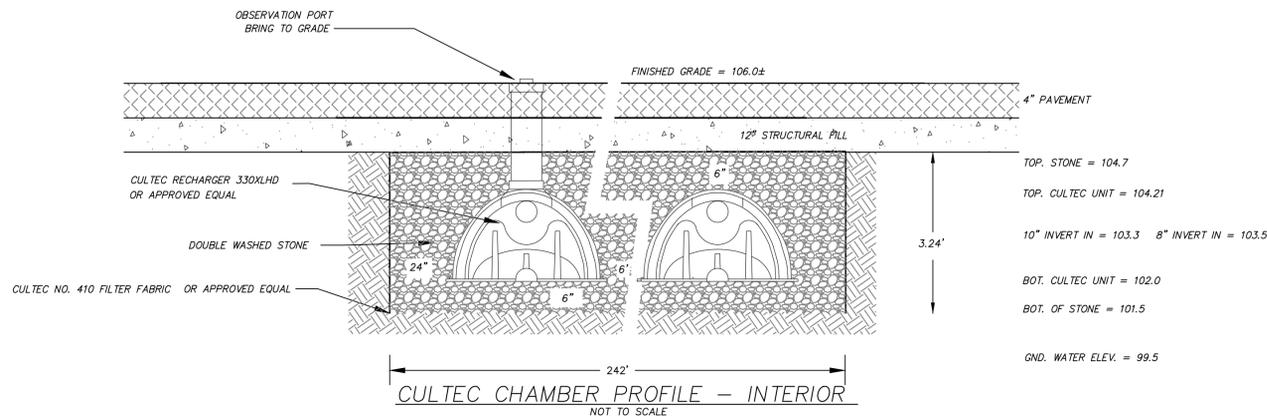
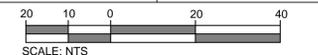
PROPOSED SITE PLAN
 2 PRESCOTT ST & 39 LINCOLN ST
 READING, MA

PLAN TITLE:
CONSTRUCTION DETAILS

PREPARED FOR:
 READING MKM, LLC
 c/o KM DOVER LLC
 109 OAK STREET SUITE G20
 NEWTON, MA 02464

DATE: SEPTEMBER 12, 2016
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JOB NUMBER: 14.034 SHEET 7 OF 8



CULTEC CHAMBER SECTION - INTERIOR
 NOT TO SCALE

CULTEC CHAMBER SECTION - EXTERIOR
 NOT TO SCALE

OVER-EXCAVATION NOTES:

THE CONTRACTOR SHALL REMOVE ALL TOPSOIL, SUBSOIL AND OTHER DELETERIOUS MATERIAL WITHIN 24" OF THE LIMIT OF THE STONE SURROUNDING THE CULTEC UNIT AS INDICATED ON THE PLANS.
 THE REMOVED SOIL SHALL BE DISPOSED OF IN A LEGAL MANNER.
 THE REMOVED SOIL SHALL BE REPLACED WITH CLEAN GRANULAR SAND CONFORMING TO THE FOLLOWING SIEVE ANALYSIS:

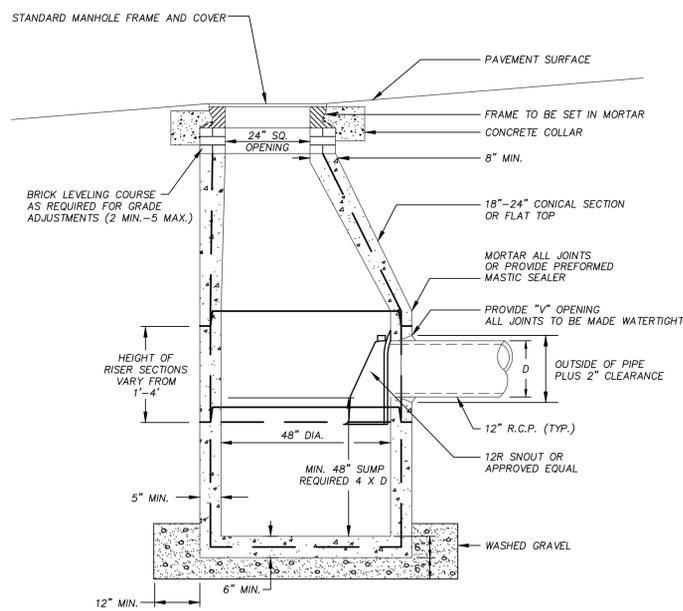
% PASSING	SEIVE SIZE	#4
100	10-100	#50
6-20	0-20	#100
0-5	0-5	#200

OBSERVATION PORT INSTALLATION NOTES:

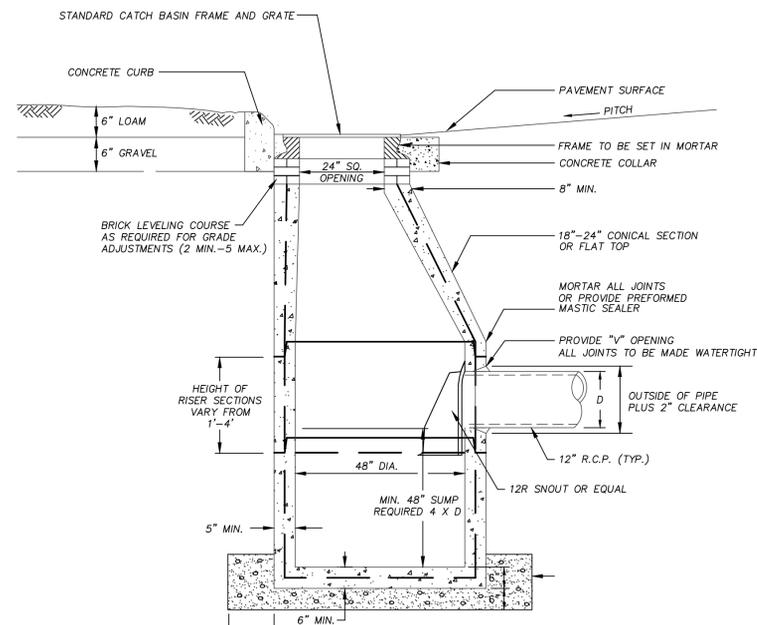
CONTRACTOR TO CUT 6" HOLE AT TOP OF CHAMBER IN THE CENTER OF THE UNIT.
 INSERT A 6" INTERNAL COUPLING INTO INSPECTION PORT OPENING.
 USE A 6" SCH 40 PVC PIPE TO BRING INSPECTION PORT TO WITHIN 6" OF FINISHED GRADE.
 INSTALL A 6" SCH 40 END CAP OR PLUG.
 BACKFILL IN ACCORDANCE WITH SPECIFICATIONS.

CULTEC CHAMBER INSTALLATION NOTES:

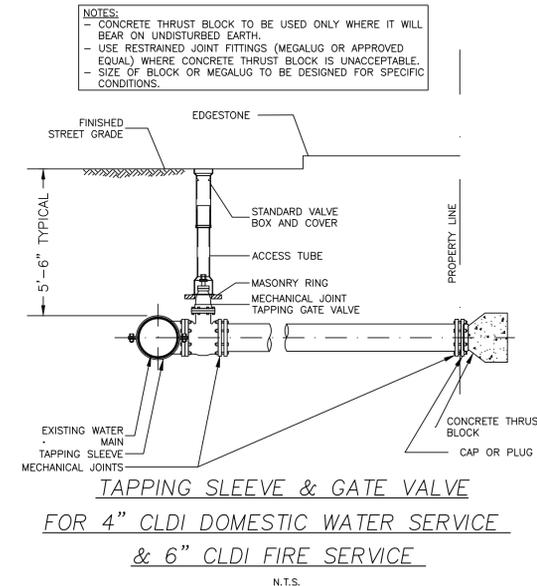
CONTRACTOR TO INSTALL CULTEC CHAMBERS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 CULTEC NO. 410 FILTER FABRIC OR APPROVED EQUAL TO BE PLACED OVER THE TOP OF THE DRAINAGE SYSTEM PRIOR TO BACKFILL.
 CONTRACTOR TO REMOVE ALL LOAM, SUBSOIL AND ALL DELETERIOUS MATERIAL FROM EXCAVATION PRIOR TO PLACEMENT OF THE STONE BED.



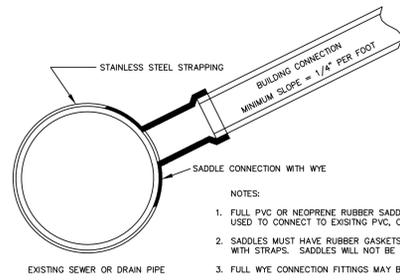
DEEP SUMP DRAIN MANHOLE
 NOT TO SCALE



PRECAST CONCRETE CATCH BASIN
 NOT TO SCALE

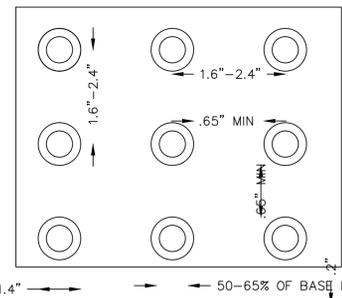


TAPPING SLEEVE & GATE VALVE
 FOR 4" CLDI DOMESTIC WATER SERVICE
 & 6" CLDI FIRE SERVICE
 N.T.S.

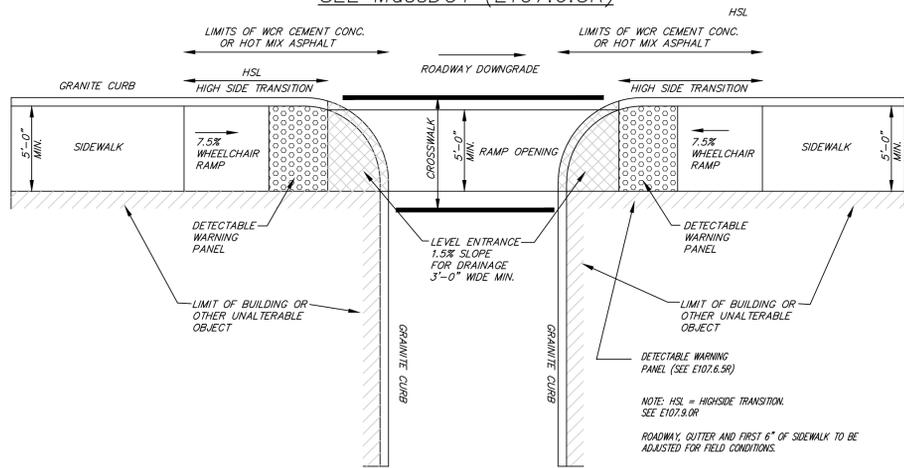


- NOTES:
1. FULL PVC OR NEOPRENE RUBBER SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY OR IRON PIPE.
 2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO PIPE.
 3. FULL WYE CONNECTION FITTINGS MAY BE USED.
 4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
 5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

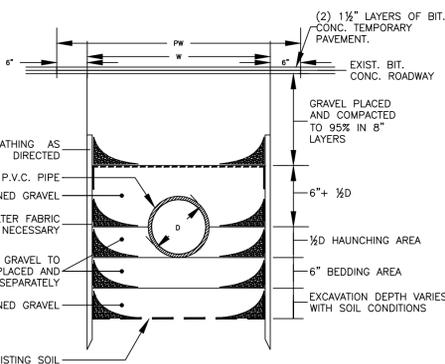
DRAIN AND SEWER SADDLE CONNECTION
N.T.S.



DETECTABLE WARNING PANEL
SEE MassDOT (E107.6.5R)

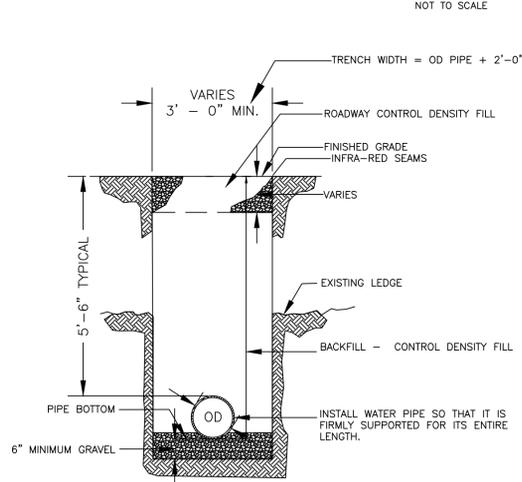


WHEELCHAIR RAMP FOR ONE CONTINUOUS DIRECTION OF PEDESTRIAN TRAFFIC (SEE 107.6.0R)
NOT TO SCALE

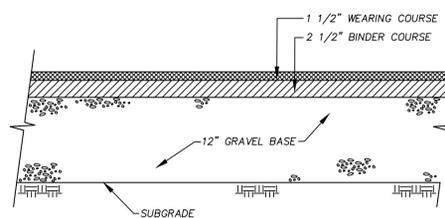


- W = MAXIMUM TRENCH WIDTH
PW = MAXIMUM PAVING WIDTH = W+1'-0"
D = OUTSIDE DIAMETER
UNSHEATHED TRENCH: W = D+2' (3'-0" MIN.)
SHEATHED TRENCH: W = D+2' + SHEATHING WIDTH:
4'-0" MIN. W/O WALERS
5'-0" MIN. W/WALERS
TRENCH BOX OR HYDRAULIC SHORING:
W = D+2' + [WALL SHIELD WIDTH ± 8"] + 1' FOR TRENCH BOX

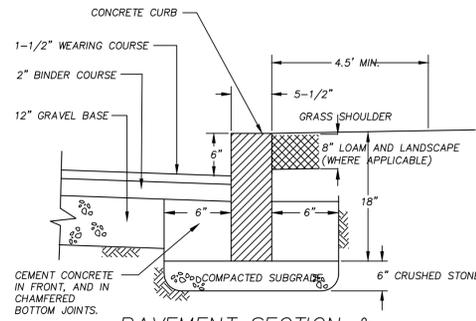
TYPICAL P.V.C. TRENCH
N.T.S.



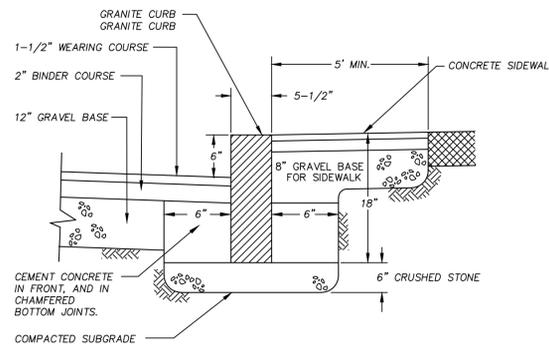
TYPICAL WATER TRENCH DETAIL
N.T.S.



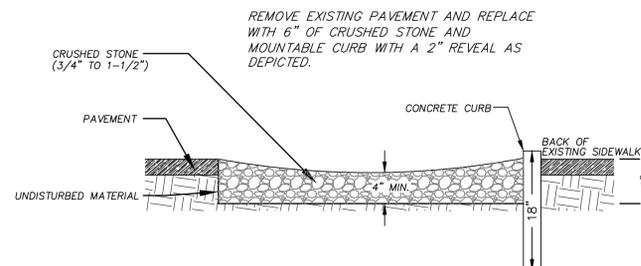
PAVEMENT SECTION
NOT TO SCALE



PAVEMENT SECTION & CONCRETE CURB DETAIL
N.T.S.



GRANITE CURB W/ SIDEWALK SECTION



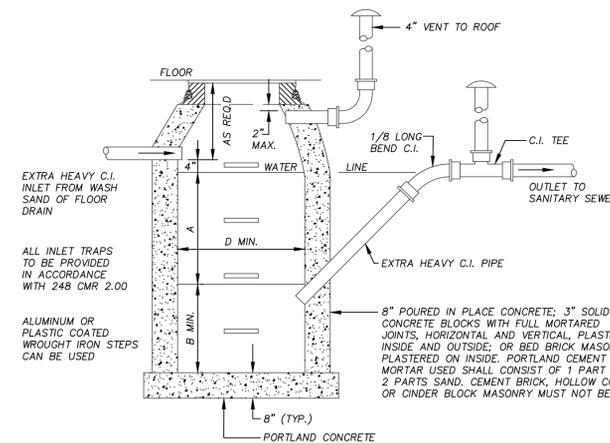
25'x25' CRUSHED STONE APRON
NOT TO SCALE

INLET	D	A	B
4"	3'-6"	3'-0"	2'-6"
5"	3'-6"	5'-0"	4'-0"
	3'6"x3'-6"	4'-0"	3'-0"
	4'-0"	3'-6"	3'-0"
	4'-0"x4'-0"	3'-0"	2'-6"
	4'-6"	3'-0"	2'-6"
6"	4'-0"	5'-0"	4'-6"
	4'-0"x4'-0"	4'-0"	3'-6"
	4'-6"	4'-0"	3'-6"
	4'-6"x4'-6"	3'-6"	3'-0"
	5'-0"	3'-6"	3'-0"
	5'-0"x5'-0"	3'-0"	2'-6"
8"	5'-0"	6'-0"	5'-0"
	5'-6"x5'-0"	4'-6"	4'-0"
	6'-0"	4'-0"	3'-6"
	6'-0"x6'-0"	3'-0"	2'-6"
	6'-6"	3'-6"	3'-0"
	6'-6"x6'-6"	3'-0"	2'-6"
10"	5'-6"	7'-6"	6'-6"
	6'-0"x6'-0"	5'-6"	4'-6"
	6'-6"	5'-6"	4'-6"
	6'-6"x6'-6"	5'-0"	4'-0"

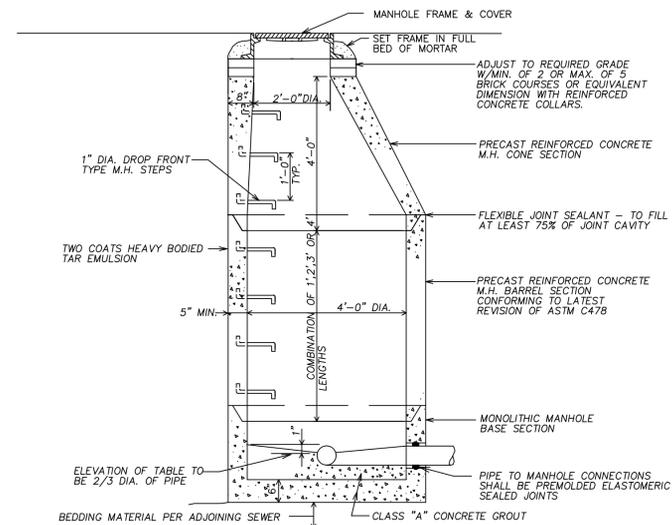
NOTE:
FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE.

PRE-CAST SEPARATORS ARE TO HAVE ALL SPECIFIED HOLES EITHER CORE-BORED OR CAST IN PLACE.

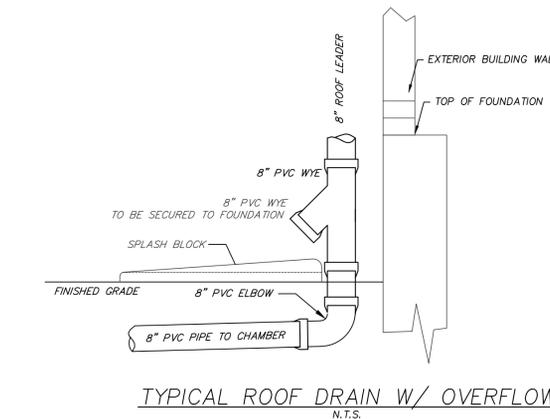
CIRCULAR BASINS ARE RECOMMENDED.



OIL AND GREASE SEPARATOR
NOT TO SCALE



PRECAST CONCRETE SEWER MANHOLE
(TYPICAL 4'DIA. MANHOLE)
N.T.S.



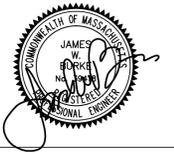
TYPICAL ROOF DRAIN W/ OVERFLOW
N.T.S.

GENERAL CONSTRUCTION NOTES:

1. BASIN TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE, COVER TO HAVE A CENTER HOLE.
2. A TIGHT COVER MUST BE USED IF BASIN IS LOCATED INSIDE OF BUILDING
3. OPENING SHALL BE NOT LESS THAN 24" DIA.
4. THE CATCH BASIN SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.
5. INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE.
6. WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST THREE FEET BELOW THE SURFACE.
7. THE NEW CATCH BASIN MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.
8. ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE BASIN, AND MUST NOT BE DISCHARGED INTO THE SEWER THROUGH OTHER FIXTURES.
9. SPECIFICATIONS FOR COVERING SPECIAL CASES OR CONDITIONS, SHALL BE APPROVED BY THE LOCAL AUTHORITIES OF THE M.W.R.A.
10. WROUGHT IRON STEPS SHALL BE SPACED ABOUT 18" APART.
11. BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE M.W.R.A.



1266 Furnace Brook Parkway, Suite 401 Quincy, MA 02169
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GENERAL NOTES:

1. LOCUS: ASSESSORS ID 016.0-0000-0224.0
016.0-0000-0226.0
- RECORD OWNERS: 2-12 PRESCOTT ST LLC.
39-41 LINCOLN ST LLC.
- DEED REFERENCE: BOOK 45430 PAGE 308
BOOK 45430 PAGE 311
BOOK 101 PAGE 41
BOOK 6158 PAGE 493
2. THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE IN OCTOBER 2014. ELEVATIONS SHOWN ON NAVD 88 DATUM.
3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
- DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-0313E, DATED JUNE 4, 2010.
5. PARCEL IS ZONED S-15.
- MIN. LOT AREA = 15,000 S.F.
- MIN. WIDTH OR CIRCLE DIAMETER = 60 FT
- MIN. FRONTAGE = 100 FT.
- MIN. FRONT YARD = 20 FT.
- MIN. SIDE YARD = 15 FT.
- MIN. REAR YARD = 20 FT.
- MAX. LOT COVERAGE = 25%
- MAX. BUILDING HEIGHT = 35 FT

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN
2 PRESCOTT ST & 39 LINCOLN ST
READING, MA

PLAN TITLE:

CONSTRUCTION DETAILS

PREPARED FOR:

READING MKM, LLC
c/o KM DOVER LLC
109 OAK STREET SUITE G20
NEWTON, MA 02464

DATE: SEPTEMBER 12, 2016

REVISED: OCTOBER 17, 2016 - PEER REVIEW RESPONSE

JOB NUMBER: 14.034

SHEET 9 OF 9



SCALE: NTS