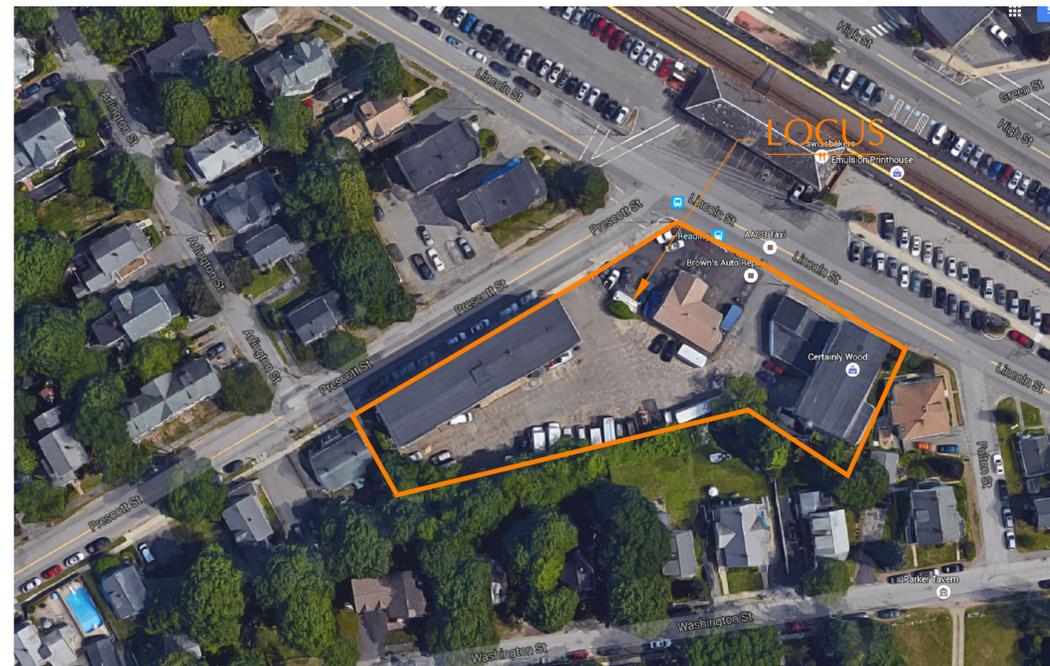


# PROPOSED APARTMENT BUILDING

2 PRESCOTT STREET AND 35 - 39 LINCOLN STREET  
 READING, MASSACHUSETTS

SEPTEMBER 12, 2016



LOCUS AERIAL  
 NTS

IMAGE FROM 2015 GOOGLE MAPS

## SHEETS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 CONSTRUCTION MANAGEMANT
- 4 PROPOSED BUILDING LAYOUT
- 5 PROPOSED PARKING LAYOUT
- 6 PROPOSED GRADING & UTILITY
- 7 DETAILS
- 8 DETAILS

## APPLICANT

READING MKM, LLC  
 c/o KM DOVER LLC  
 109 OAK STREET  
 NEWTON, MA 02464

## ARCHITECT

CUBE 3 STUDIO LLC  
 360 MERRIMACK STREET  
 BUILDING 5, FLOOR 3  
 LAWRENCE, MA 01843

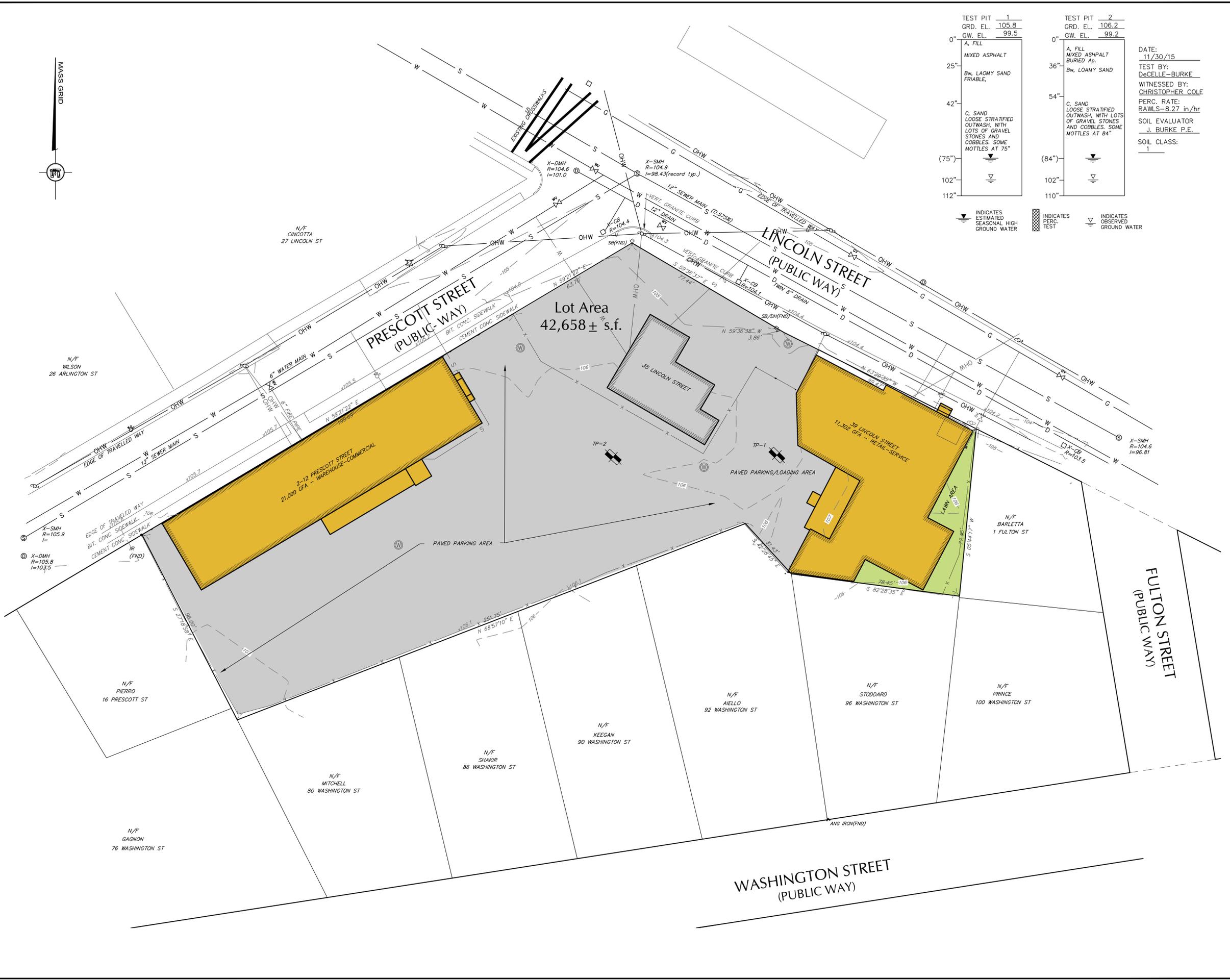
## CIVIL/SURVEY

DECELLE-BURKE & ASSOCIATES  
 1266 FURNACE BROOK PARKWAY  
 SUITE 401  
 QUINCY, MA 02169



REVISIONS:		
No.	DATE	PEER REVIEW RESPONSE
1.	10/17/16	





TEST PIT 1	
GRD. EL.	105.8
GW. EL.	99.5
0"	A. FILL
25"	MIXED ASPHALT
42"	Bw. LOAMY SAND FRIABLE.
(75")	C. SAND LOOSE STRATIFIED OUTWASH, WITH LOTS OF GRAVEL STONES AND COBBLES. SOME MOTTLES AT 75"
102"	
112"	

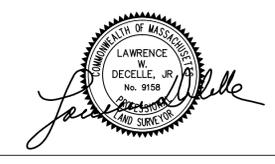
TEST PIT 2	
GRD. EL.	106.2
GW. EL.	99.2
0"	A. FILL
36"	MIXED ASPHALT BURIED AP.
54"	Bw. LOAMY SAND
(84")	C. SAND LOOSE STRATIFIED OUTWASH, WITH LOTS OF GRAVEL STONES AND COBBLES. SOME MOTTLES AT 84"
102"	
110"	

DATE: 11/30/15  
 TEST BY: DeCELLE-BURKE  
 WITNESSED BY: CHRISTOPHER COLE  
 PERC. RATE: RAWLS-8.27 in/hr  
 SOIL EVALUATOR: J. BURKE P.E.  
 SOIL CLASS: 1

INDICATES ESTIMATED SEASONAL HIGH GROUND WATER  
 INDICATES PERC. TEST  
 INDICATES OBSERVED GROUND WATER



2266 Furnace Brook Parkway, Suite 401 Quincy, MA 02169  
 (617) 405-5100 (O) (617) 405-5101 (F)



- GENERAL NOTES:
- LOCUS: ASSESSORS ID 016.0-0000-0224.0, 016.0-0000-0225.0, 016.0-0000-0226.0
  - RECORD OWNER FOR 2-12 PRESCOTT ST: 2-12 PRESCOTT ST LLC.  
 RECORD OWNER FOR 39-41 LINCOLN ST: 39-41 LINCOLN ST LLC.  
 RECORD OWNER FOR 31-35 LINCOLN ST: KEVIN BROWN
  - DEED REFERENCE: BOOK 45430 PAGE 308, 311, 498  
 PLAN REFERENCE: BOOK 101 PAGE 41, 493
  - THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE IN OCTOBER 2014. ELEVATIONS SHOWN ON NAVD 88 DATUM.
  - EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIS-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
  - DIS-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
  - THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-0313E, DATED JUNE 4, 2010.
  - PARCEL IS ZONED S-15.  
 MIN. LOT AREA = 15,000 S.F.  
 MIN. WIDTH CIRCLE DIAMETER = 60FT  
 MIN. FRONTAGE = 100FT.  
 MIN. FRONT YARD = 20 FT.  
 MIN. SIDE YARD = 15 FT.  
 MIN. REAR YARD = 20 FT.  
 MAX. LOT COVERAGE = 25%  
 MAX. BUILDING HEIGHT = 35 FT
  - READING SEWER BASE CONVERSION TO NAVD88 -105.65'.

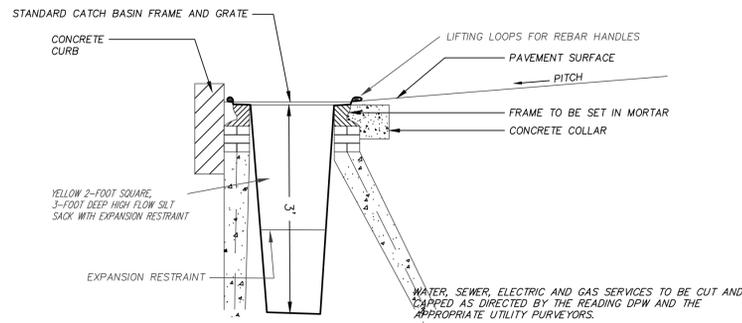
PROJECT TITLE & LOCATION:  
**PROPOSED SITE PLAN**  
**2 PRESCOTT ST. & 35-39 LINCOLN ST.**  
**READING, MA**

PLAN TITLE:  
**EXISTING CONDITIONS**

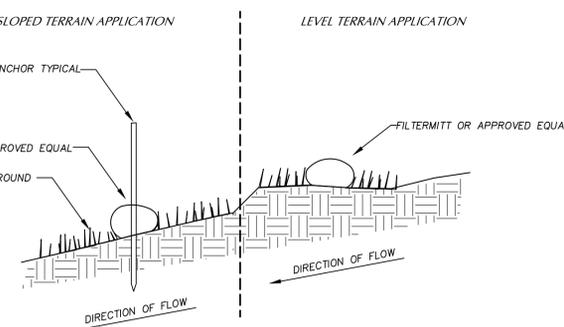
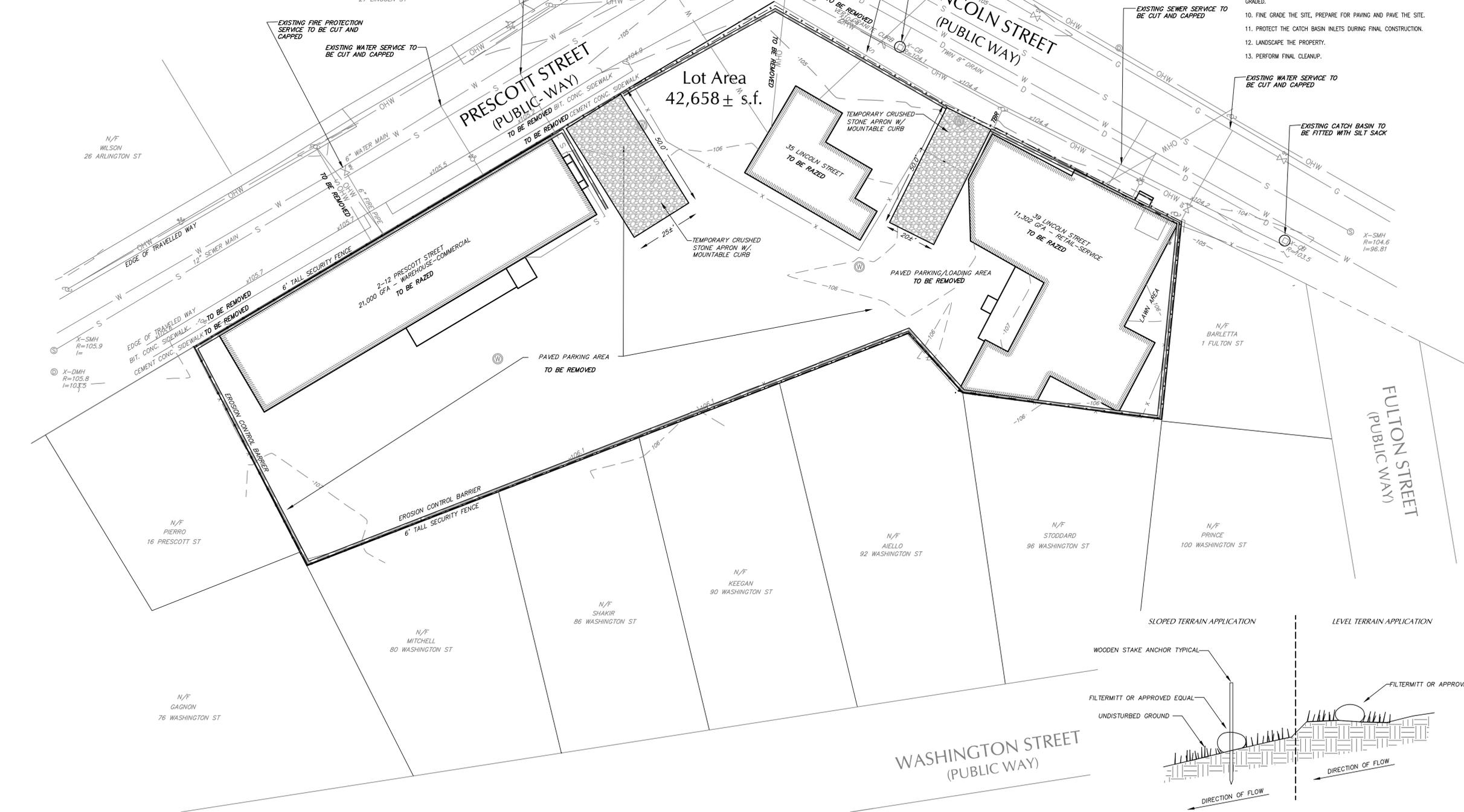
PREPARED FOR:  
**READING MKM, LLC**  
**c/o KM DOVER LLC**  
**109 OAK STREET SUITE G20**  
**NEWTON, MA 02464**

DATE: SEPTEMBER 12, 2016  
 REVISED: OCTOBER 17, 2016 - PEER REVIEW RESPONSE

JOB NUMBER: 14.034 SHEET 2 OF 8  
 SCALE: 1"=20'



PINCH SILT SACK BETWEEN FRAME & GRATE. INSPECT SILT SACK AFTER EACH STORM EVENT. PERFORM MAINTENANCE WHEN SILT AND DEBRIS IS 12" DEEP.  
**CATCH BASIN SILT SACK**  
 N.T.S.



**FILTERMITT OR EQUIVALENT**  
 NOT TO SCALE

- CONSTRUCTION SEQUENCING**
1. A CONSTRUCTION SAFETY FENCE LIMITING ACCESS TO THE SITE SHALL BE PLACED AROUND THE PERIMETER OF THE PROPERTY TO MAKE IT SECURE.
  2. CONTRACTOR TO PLACE EROSION CONTROL BARRIER AT LIMITS OF PROPERTY WHERE POSSIBLE PRIOR TO BUILDING REMOVAL. CONTRACTOR TO ALSO PLACE CRUSHED STONE APRON AT SITE EGRESS POINT TO MINIMIZE SEDIMENT TRANSPORT OFFSITE FROM CONSTRUCTION VEHICLE TIRES.
  3. CONTRACTOR TO DEMOLISH EXISTING BUILDINGS AFTER ALL PREPARATIONS ARE MADE INCLUDING, BUT NOT LIMITED TO, UTILITY DISCONNECTS, INTERIOR DEMOLITION, HAZARDOUS WASTE REMOVAL, ETC...CONTRACTOR TO HAVE A WATER TRUCK ON HAND TO MINIMIZE FUGITIVE DUST. ALL DEBRIS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
  4. ALL EXISTING UTILITIES SERVICING THE EXISTING BUILDING SHALL BE CUT AND CAPPED IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR THE TOWN OF READING WATER AND SEWER DEPARTMENT AND WITH THE REGULATIONS PERTINENT TO THE OTHER UTILITY OWNERS THAT SERVICE THE BUILDING.
  5. THE REMAINING EROSION CONTROL DEVICES SHALL BE INSTALLED AT THE LIMITS OF THE PROPERTY AS SHOWN ON THE PLAN.
  6. STORMWATER CONTROL DEVICES SHALL BE INSTALLED IF EROSION CONTROL DEVICES DO NOT APPEAR TO CONTROL OFFSITE STORMWATER RUNOFF.
  7. THE FOUNDATION SHALL BE EXCAVATED AND CONSTRUCTED IN ACCORDANCE WITH THE APPROVED BUILDING PLANS. IF BACKFILL AND/OR STRUCTURAL FILL IS NEEDED TO BE STOCKPILED ONSITE THE CONTRACTOR SHALL PLACE THEM IN THE STOCKPILE AREA CONTAINED WITHIN EROSION CONTROL BARRIER.
  8. VERTICAL CONSTRUCTION OF THE BUILDING SHALL PROCEED ONCE THE FOUNDATION IS INSTALLED. UTILITY CONNECTIONS FOR THE BUILDING SHALL BE INSTALLED ONE APPROVED BY UTILITY PURVEYORS.
  9. ONCE HEAVY EQUIPMENT IS NO LONGER PROPOSED FOR USE ON THE SITE TO CONSTRUCT THE BUILDING THE UNDERGROUND STORMWATER RECHARGE FACILITIES CAN BE CONSTRUCTED ALONG WITH THE CATCH BASINS AND DRAIN MANHOLES. ONCE INSTALLED THE SITE CAN BE BACK FILLED AND ROUGH GRADED.
  10. FINE GRADE THE SITE, PREPARE FOR PAVING AND PAVE THE SITE.
  11. PROTECT THE CATCH BASIN INLETS DURING FINAL CONSTRUCTION.
  12. LANDSCAPE THE PROPERTY.
  13. PERFORM FINAL CLEANUP.



**BURKE & Associates, Inc.**  
 1266 Furnace Brook Parkway, Suite 401 Quincy, MA 02169  
 (617) 405-5100 (O) (617) 405-5101 (F)



- GENERAL NOTES:**
- DEMOLITION & CONSTRUCTION NOTES:**
- THE CONTRACTOR SHALL PLACE A 6' HIGH TEMPORARY SAFETY FENCE AROUND THE SITE PRIOR TO THE DEMOLITION ON SITE.
- A WATER TRUCK SHALL BE ON-SITE DURING THE DEMOLITION PROCESS TO MINIMIZE FUGITIVE DUST.
- A CRUSHED STONE APRON SHALL BE CONSTRUCTED AS SHOWN TO MINIMIZE TRUCK TIRES LEAVING SEDIMENT ON THE ROADWAYS.
- ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
- THE SITE AND THE CRUSHED STONE APRON SHALL BE GRADED TO PREVENT ANY SITE RUNOFF FROM FLOWING OFF SITE.
- CONSTRUCTION HOURS SHALL BE FROM 6:00AM TO 6:00PM MONDAY THROUGH SATURDAY, 9:00AM TO 4:00PM ON SUNDAYS.

**PROJECT TITLE & LOCATION:**

**PROPOSED SITE PLAN**  
**2 PRESCOTT ST. & 35-39 LINCOLN ST.**  
**READING, MA**

**PLAN TITLE:**

**CONSTRUCTION MANAGEMENT**

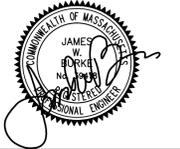
**PREPARED FOR:**

READING MKM, LLC  
 c/o KM DOVER LLC  
 109 OAK STREET SUITE G20  
 NEWTON, MA 02464

**DATE:** SEPTEMBER 12, 2016  
**REVISED:** OCTOBER 17, 2016 - PEER REVIEW RESPONSE

**JOB NUMBER:** 14.034 **SHEET** 3 OF 8

20 10 0 20 40  
 SCALE: 1"=20'



GENERAL NOTES:

- LOCUS: ASSESSORS ID 016.0-0000-0224.0  
 016.0-0000-0226.0  
 RECORD OWNERS: 2-12 PRESCOTT ST LLC.  
 39-41 LINCOLN ST LLC.  
 DEED REFERENCE: BOOK 45430 PAGE 308  
 BOOK 45430 PAGE 311  
 PLAN REFERENCE: BOOK 101 PAGE 41  
 BOOK 6158 PAGE 493
- THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE IN OCTOBER 2014. ELEVATIONS SHOWN ON NAVD 88 DATUM.
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- PARCEL IS ZONED S-15.  
 MIN. LOT AREA = 15,000 S.F.  
 MIN. WIDTH CIRCLE DIAMETER = 60FT  
 MIN. FRONTAGE = 100FT.  
 MIN. FRONT YARD = 20 FT.  
 MIN. SIDE YARD = 15 FT.  
 MIN. REAR YARD = 20 FT.  
 MAX. LOT COVERAGE = 25%  
 MAX. BUILDING HEIGHT = 35 FT

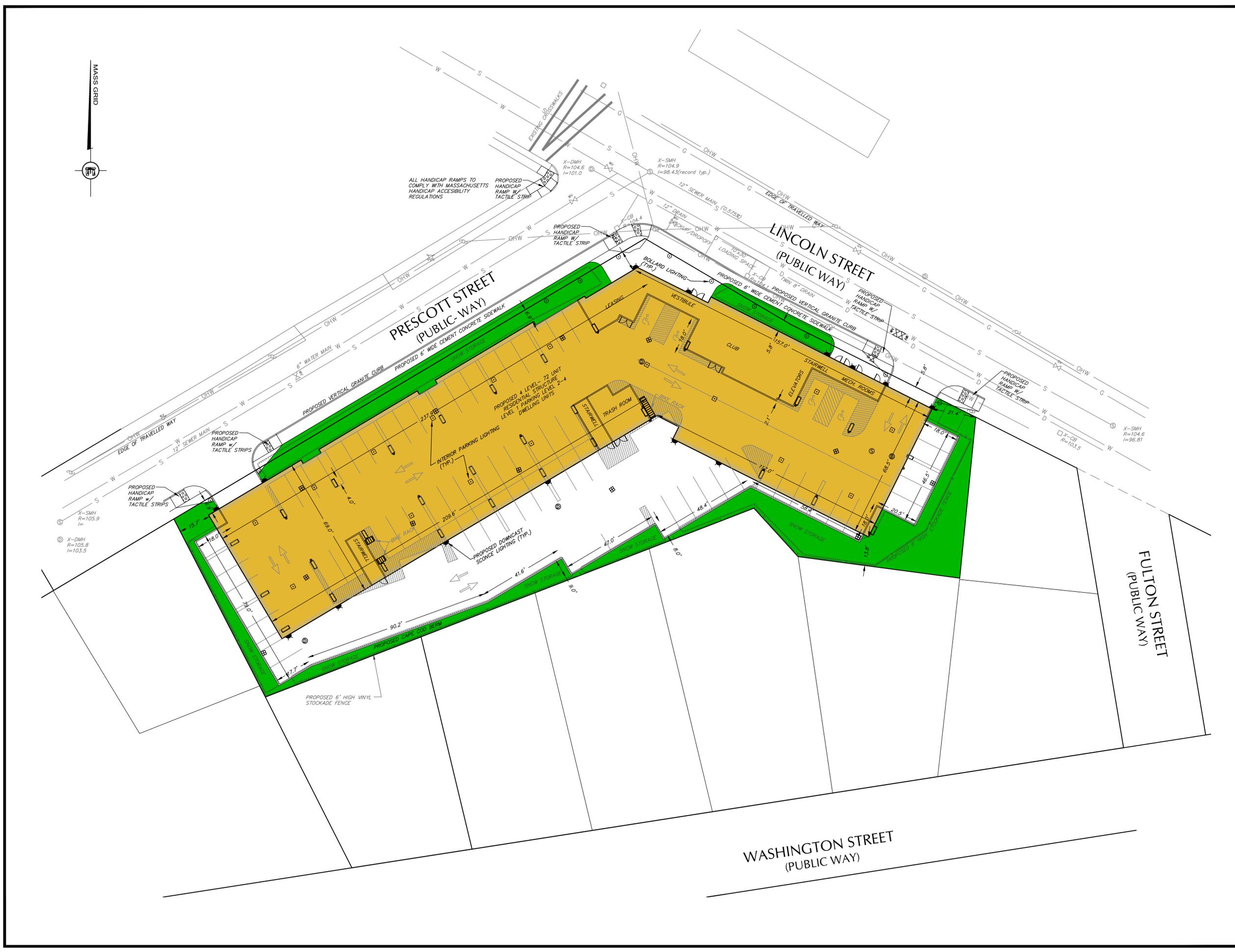
PROJECT TITLE & LOCATION:  
**PROPOSED SITE PLAN**  
 2 PRESCOTT ST. & 35-39 LINCOLN ST.  
 READING, MA

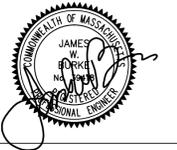
PLAN TITLE:  
**PROPOSED BUILDING LAYOUT**

PREPARED FOR:  
 READING MKM, LLC  
 c/o KM DOVER LLC  
 109 OAK STREET SUITE G20  
 NEWTON, MA 02464

DATE: SEPTEMBER 12, 2016  
 REVISED: OCTOBER 17, 2016 - PEER REVIEW RESPONSE

JOB NUMBER: 14.034 SHEET 4 OF 8  
 SCALE: 1"=20'





**GENERAL NOTES:**

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RECORD OWNERS: 2-12 PRESCOTT ST LLC.  
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MIN. FRONTAGE = 100FT.  
MIN. FRONT YARD = 20 FT.  
MIN. SIDE YARD = 15 FT.  
MIN. REAR YARD = 20 FT.  
MAX. LOT COVERAGE = 25%  
MAX. BUILDING HEIGHT = 35 FT

**PROJECT TITLE & LOCATION:**

**PROPOSED SITE PLAN**  
2 PRESCOTT ST. & 35-39 LINCOLN ST.  
READING, MA

**PLAN TITLE:**

**PROPOSED PARKING LAYOUT**

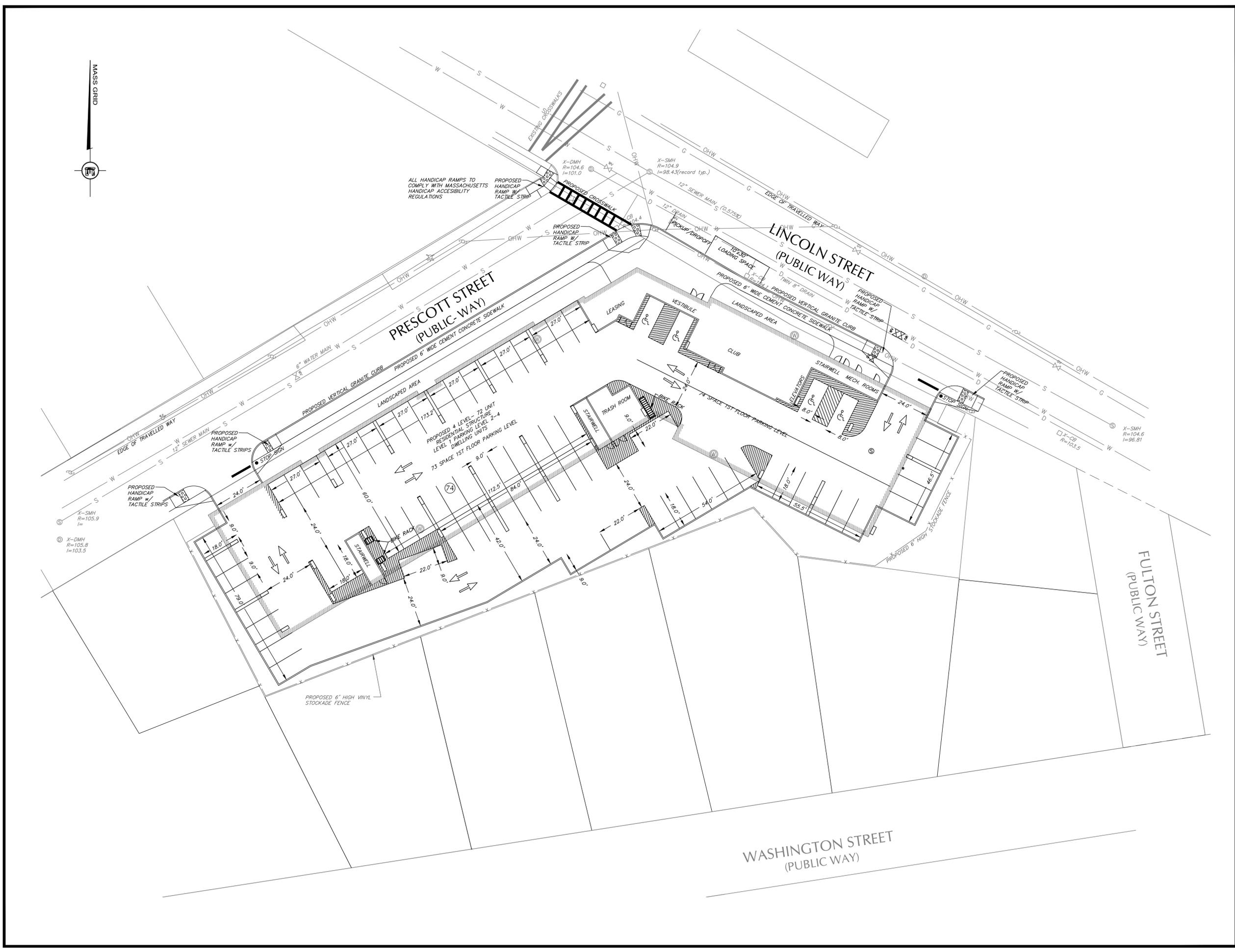
**PREPARED FOR:**

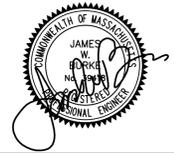
READING MKM, LLC  
c/o KM DOVER LLC  
109 OAK STREET SUITE G20  
NEWTON, MA 02464

DATE: SEPTEMBER 12, 2016

REVISED: OCTOBER 17, 2016 - PEER REVIEW RESPONSE

JOB NUMBER: 14.034 SHEET 5 OF 8





GENERAL NOTES:

- LOCUS: ASSESSORS ID 016.0-0000-0224.0  
016.0-0000-0226.0  
RECORD OWNERS: 2-12 PRESCOTT ST LLC.  
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MIN. FRONTAGE = 100FT.  
MIN. FRONT YARD = 20 FT.  
MIN. SIDE YARD = 15 FT.  
MIN. REAR YARD = 20 FT.  
MAX. LOT COVERAGE = 25%  
MAX. BUILDING HEIGHT = 35 FT

PROJECT TITLE & LOCATION:

PROPOSED SITE PLAN  
2 PRESCOTT ST. & 35-39 LINCOLN ST.  
READING, MA

PLAN TITLE:

PROPOSED GRADING & UTILITY

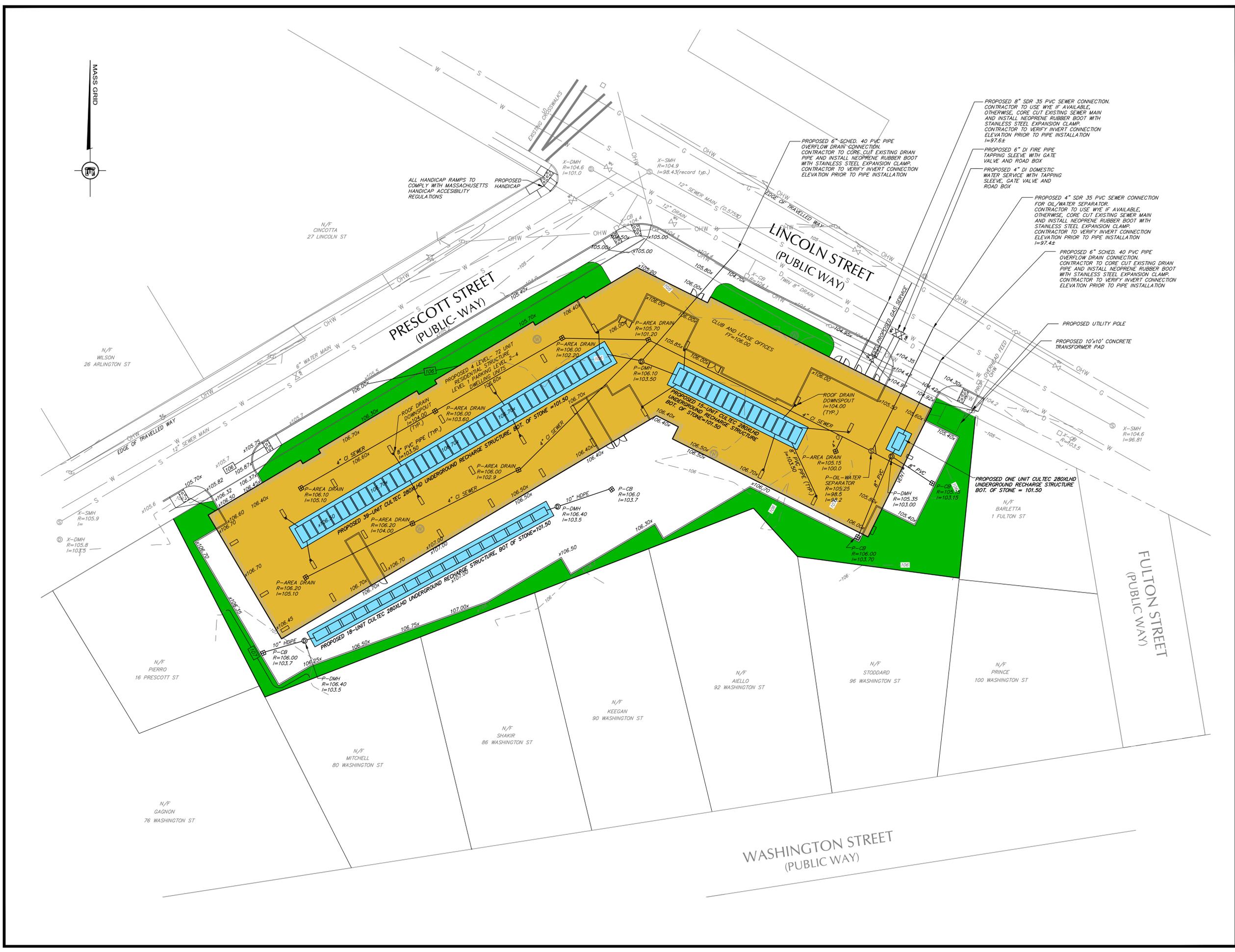
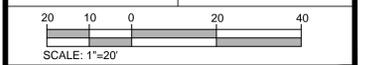
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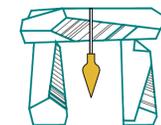
READING MKM, LLC  
c/o KM DOVER LLC  
109 OAK STREET SUITE G20  
NEWTON, MA 02464

DATE: SEPTEMBER 12, 2016

REVISED: OCTOBER 17, 2016 - PEER REVIEW RESPONSE

JOB NUMBER: 14.034 SHEET 6 OF 8





**GENERAL NOTES:**

- LOCUS: ASSESSORS ID 016.0-0000-0224.0  
016.0-0000-0226.0  
RECORD OWNERS: 2-12 PRESCOTT ST LLC.  
39-41 LINCOLN ST LLC.  
DEED REFERENCE: BOOK 45430 PAGE 308  
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MIN. SIDE YARD = 15 FT.  
MIN. REAR YARD = 20 FT.  
MAX. LOT COVERAGE = 25%  
MAX. BUILDING HEIGHT = 35 FT

**PROJECT TITLE & LOCATION:**

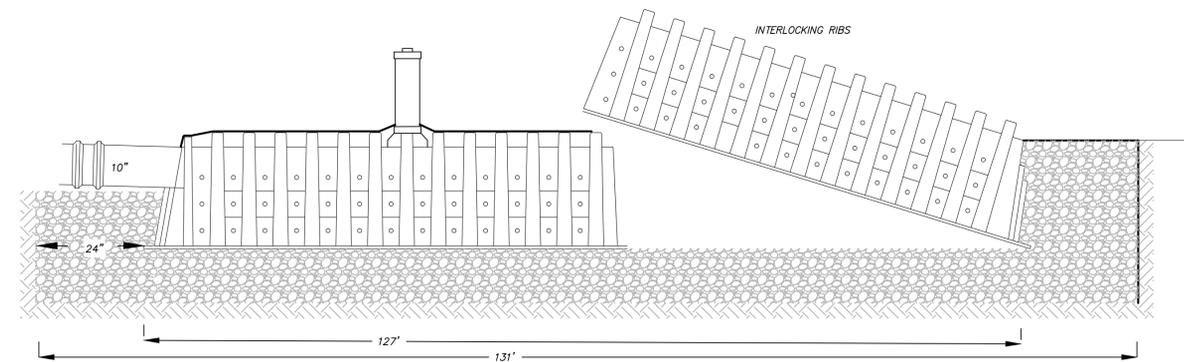
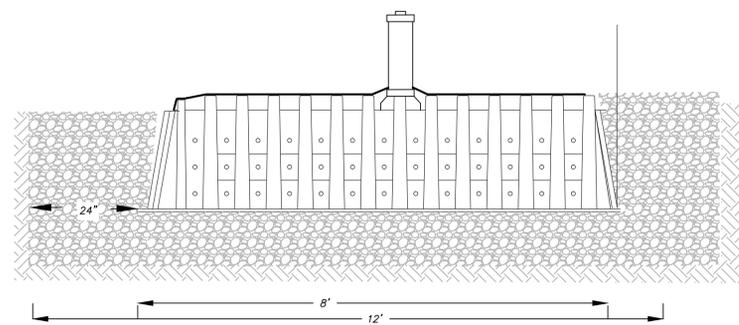
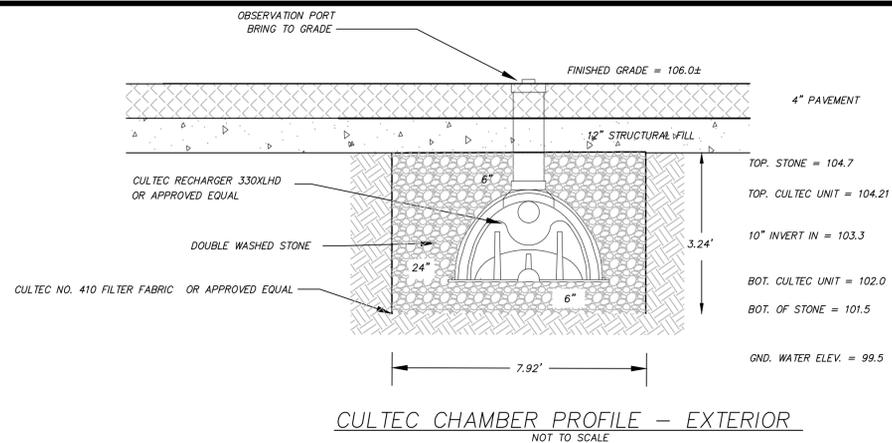
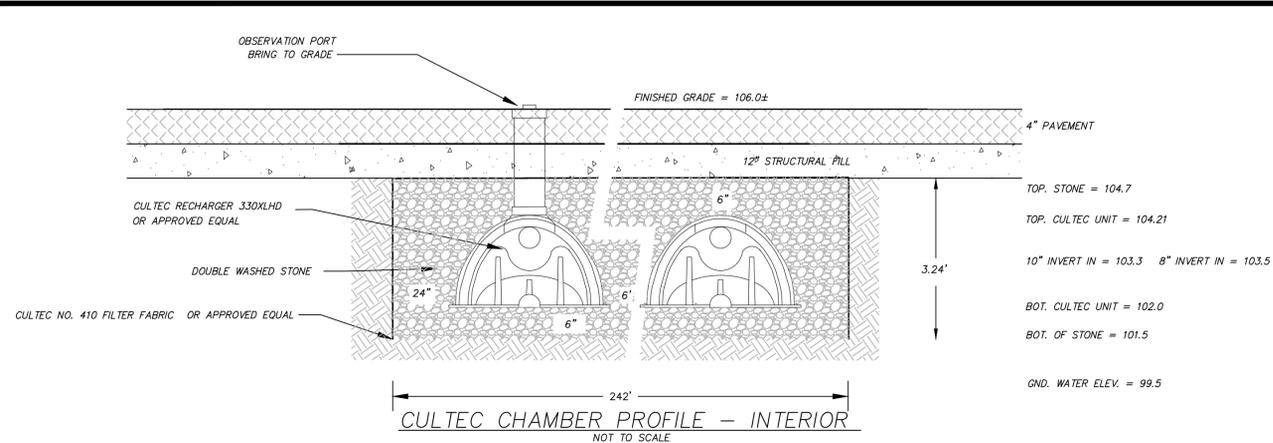
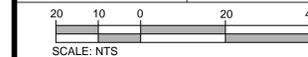
**PROPOSED SITE PLAN**  
2 PRESCOTT ST. & 35-39 LINCOLN ST.  
READING, MA

**PLAN TITLE:**  
CONSTRUCTION DETAILS

**PREPARED FOR:**  
READING MKM, LLC  
c/o KM DOVER LLC  
109 OAK STREET SUITE G20  
NEWTON, MA 02464

**DATE:** SEPTEMBER 12, 2016  
**REVISED:** OCTOBER 17, 2016 - PEER REVIEW RESPONSE

**JOB NUMBER:** 14.034 **SHEET** 7 OF 8



**CULTEC CHAMBER SECTION - INTERIOR**  
NOT TO SCALE

**CULTEC CHAMBER SECTION - EXTERIOR**  
NOT TO SCALE

**OVER-EXCAVATION NOTES:**

THE CONTRACTOR SHALL REMOVE ALL TOPSOIL, SUBSOIL AND OTHER DELETERIOUS MATERIAL WITHIN 24" OF THE LIMIT OF THE STONE SURROUNDING THE CULTEC UNIT AS INDICATED ON THE PLANS.  
THE REMOVED SOIL SHALL BE DISPOSED OF IN A LEGAL MANNER.  
THE REMOVED SOIL SHALL BE REPLACED WITH CLEAN GRANULAR SAND CONFORMING TO THE FOLLOWING SIEVE ANALYSIS:

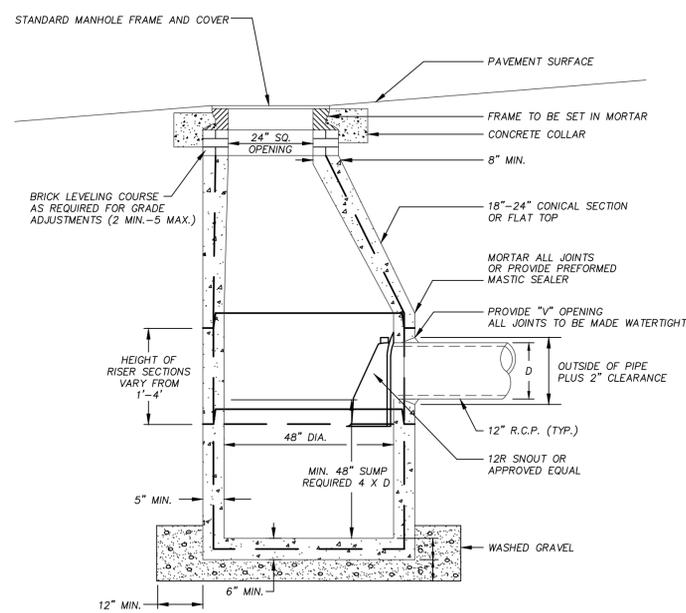
% PASSING	SEIVE SIZE	#4
100	10-100	#50
6-20	0-20	#100
0-5	0-5	#200

**OBSERVATION PORT INSTALLATION NOTES:**

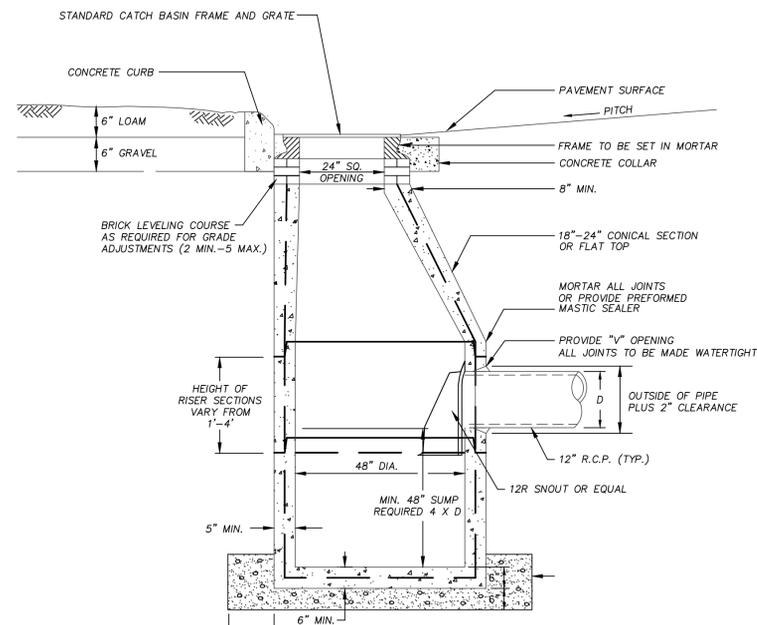
CONTRACTOR TO CUT 6" HOLE AT TOP OF CHAMBER IN THE CENTER OF THE UNIT.  
INSERT A 6" INTERNAL COUPLING INTO INSPECTION PORT OPENING.  
USE A 6" SCH 40 PVC PIPE TO BRING INSPECTION PORT TO WITHIN 6" OF FINISHED GRADE.  
INSTALL A 6" SCH 40 END CAP OR PLUG.  
BACKFILL IN ACCORDANCE WITH SPECIFICATIONS.

**CULTEC CHAMBER INSTALLATION NOTES:**

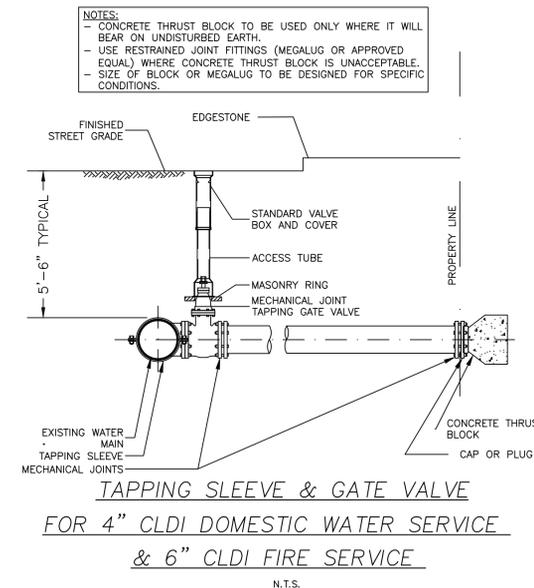
CONTRACTOR TO INSTALL CULTEC CHAMBERS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.  
CULTEC NO. 410 FILTER FABRIC OR APPROVED EQUAL TO BE PLACED OVER THE TOP OF THE DRAINAGE SYSTEM PRIOR TO BACKFILL.  
CONTRACTOR TO REMOVE ALL LOAM, SUBSOIL AND ALL DELETERIOUS MATERIAL FROM EXCAVATION PRIOR TO PLACEMENT OF THE STONE BED.



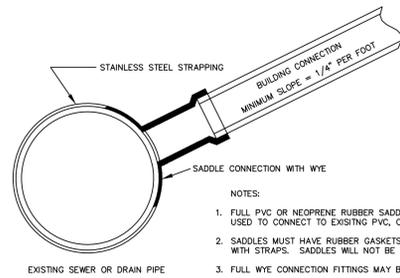
**DEEP SUMP DRAIN MANHOLE**  
NOT TO SCALE



**PRECAST CONCRETE CATCH BASIN**  
NOT TO SCALE

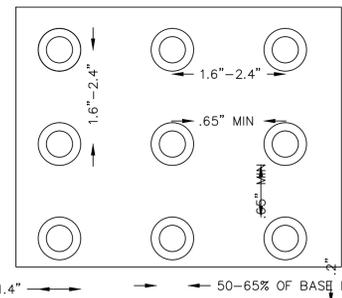


**TAPPING SLEEVE & GATE VALVE**  
**FOR 4" CLDI DOMESTIC WATER SERVICE**  
**& 6" CLDI FIRE SERVICE**  
N.T.S.

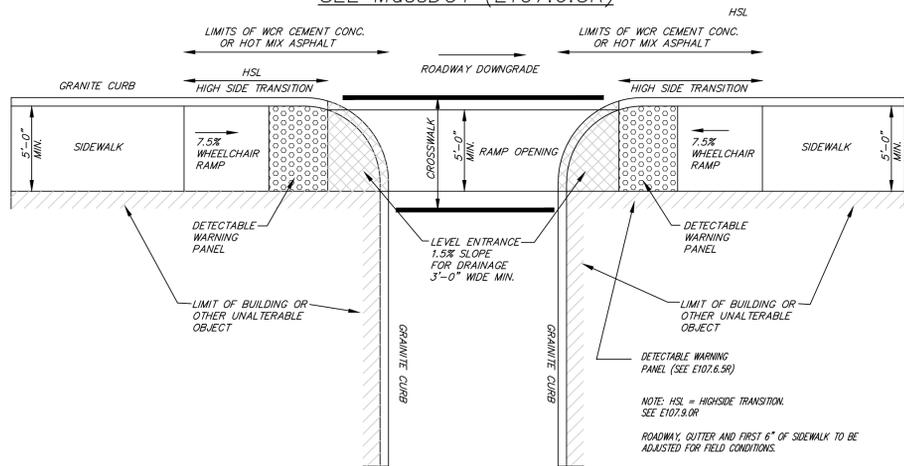


- NOTES:
- FULL PVC OR NEOPRENE RUBBER SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY OR IRON PIPE.
  - SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO PIPE.
  - FULL WYE CONNECTION FITTINGS MAY BE USED.
  - PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
  - CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

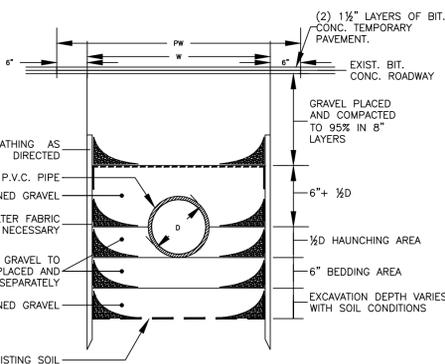
**DRAIN AND SEWER SADDLE CONNECTION**  
N.T.S.



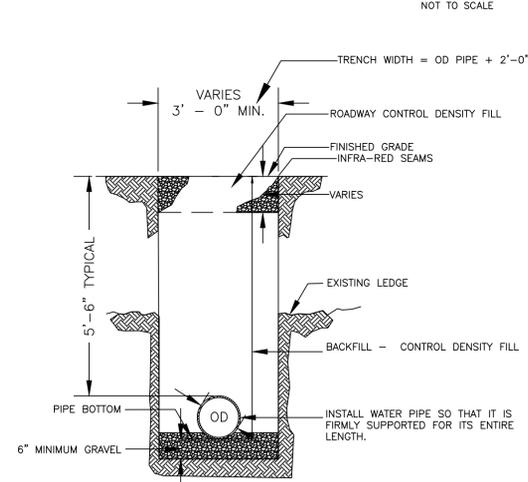
**DETECTABLE WARNING PANEL**  
SEE MassDOT (E107.6.5R)



**WHEELCHAIR RAMP FOR ONE CONTINUOUS DIRECTION OF PEDESTRIAN TRAFFIC (SEE 107.6.0R)**  
NOT TO SCALE



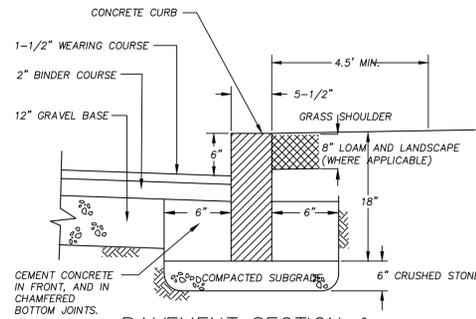
**TYPICAL P.V.C. TRENCH**  
N.T.S.



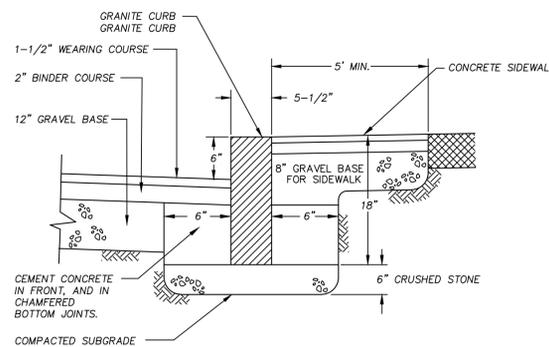
**TYPICAL WATER TRENCH DETAIL**  
N.T.S.

- W = MAXIMUM TRENCH WIDTH  
PW = MAXIMUM PAVING WIDTH = W+1'-0"  
D = OUTSIDE DIAMETER  
UNSHEATHED TRENCH: W = D+2' (3'-0" MIN.)  
SHEATHED TRENCH: W = D+2' + SHEATHING WIDTH:  
4'-0" MIN. W/O WALERS  
5'-0" MIN. W/WALERS  
TRENCH BOX OR HYDRAULIC SHORING:  
W = D+2' + [WALL SHIELD WIDTH ± 8"] + 1' FOR TRENCH BOX

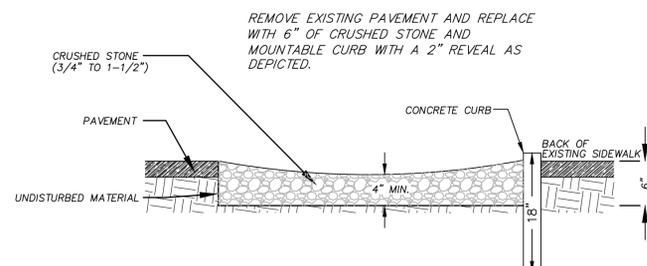
NOTE: HSL = HIGH SIDE TRANSITION. SEE E107.9.0R  
ROADWAY GUTTER AND FIRST 6" OF SIDEWALK TO BE ADJUSTED FOR FIELD CONDITIONS.



**PAVEMENT SECTION & CONCRETE CURB DETAIL**  
N.T.S.

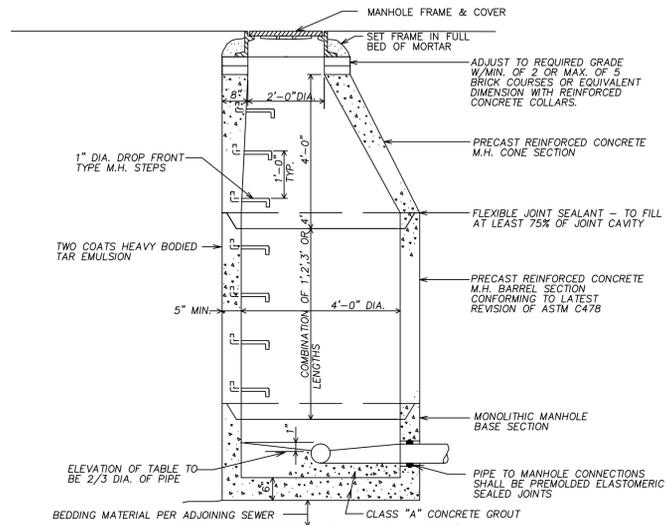


**GRANITE CURB W/ SIDEWALK SECTION**

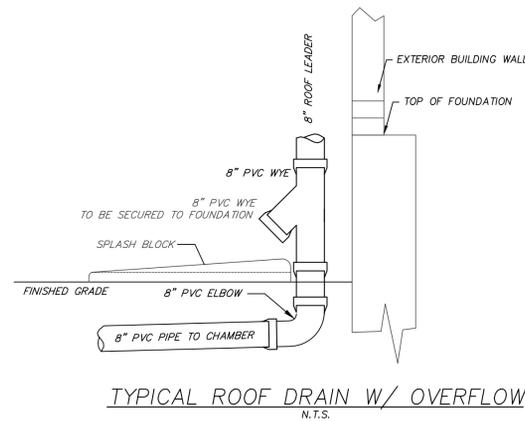


**25'x25' CRUSHED STONE APRON**  
NOT TO SCALE

REMOVE EXISTING PAVEMENT AND REPLACE WITH 6" OF CRUSHED STONE AND MOUNTABLE CURB WITH A 2" REVEAL AS DEPICTED.



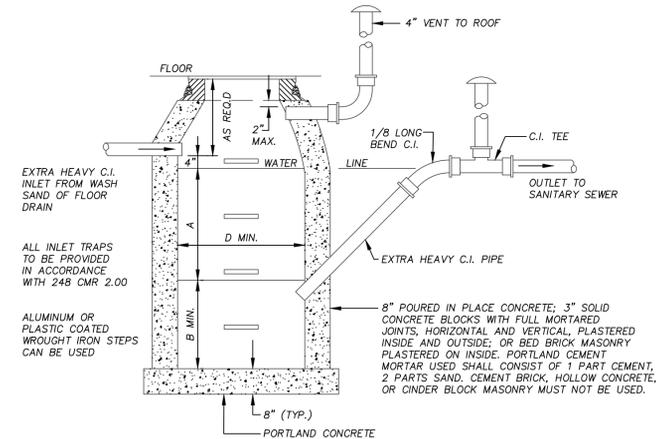
**PRECAST CONCRETE SEWER MANHOLE**  
(TYPICAL 4'DIA. MANHOLE)  
N.T.S.



**TYPICAL ROOF DRAIN W/ OVERFLOW**  
N.T.S.

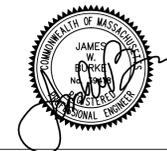
INLET	D	A	B
4"	3'-6"	3'-0"	2'-6"
5"	3'-6"	5'-0"	4'-0"
	3'-6"x3'-6"	4'-0"	3'-0"
	4'-0"	3'-6"	3'-0"
6"	4'-0"	5'-0"	4'-6"
	4'-0"x4'-0"	4'-0"	3'-6"
	4'-6"x4'-6"	3'-6"	2'-6"
8"	5'-0"	6'-0"	5'-0"
	5'-0"x5'-0"	4'-6"	4'-0"
	6'-0"x6'-0"	3'-6"	2'-6"
10"	5'-6"	7'-6"	6'-6"
	6'-0"x6'-0"	5'-6"	4'-6"
	6'-6"x6'-6"	5'-0"	4'-0"

NOTE:  
FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE.  
PRE-CAST SEPARATORS ARE TO HAVE ALL SPECIFIED HOLES EITHER CORE-BORED OR CAST IN PLACE.  
CIRCULAR BASINS ARE RECOMMENDED.



**OIL AND GREASE SEPARATOR**  
NOT TO SCALE

- GENERAL CONSTRUCTION NOTES:
- BASIN TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE, COVER TO HAVE A CENTER HOLE.
  - A TIGHT COVER MUST BE USED IF BASIN IS LOCATED INSIDE OF BUILDING.
  - OPENING SHALL BE NOT LESS THAN 24" DIA.
  - THE CATCH BASIN SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.
  - INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE.
  - WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST THREE FEET BELOW THE SURFACE.
  - THE NEW CATCH BASIN MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.
  - ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE BASIN, AND MUST NOT BE DISCHARGED INTO THE SEWER THROUGH OTHER FIXTURES.
  - SPECIFICATIONS FOR COVERING SPECIAL CASES OR CONDITIONS, SHALL BE APPROVED BY THE LOCAL AUTHORITIES OF THE M.W.R.A.
  - BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE M.W.R.A.



- GENERAL NOTES:
- LOCUS: ASSESSORS ID 016.0-0000-0224.0  
016.0-0000-0226.0  
RECORD OWNERS: 2-12 PRESCOTT ST LLC.  
39-41 LINCOLN ST LLC.
  - DEED REFERENCE: BOOK 45430 PAGE 308  
BOOK 45430 PAGE 311  
BOOK 101 PAGE 41  
BOOK 6158 PAGE 493

2. THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY THIS OFFICE IN OCTOBER 2014. ELEVATIONS SHOWN ON NAVD 88 DATUM.

3. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.

DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

4. THE LOT SHOWN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE AS DELINEATED ON FIRM 25017C-0313E, DATED JUNE 4, 2010.

5. PARCEL IS ZONED S-15.

MIN. LOT AREA = 15,000 SF.  
MIN. WIDTH OR CIRCLE DIAMETER = 60 FT  
MIN. FRONTAGE = 100 FT.  
MIN. FRONT YARD = 20 FT.  
MIN. SIDE YARD = 15 FT.  
MIN. REAR YARD = 20 FT.  
MAX. LOT COVERAGE = 25%  
MAX. BUILDING HEIGHT = 35 FT

PROJECT TITLE & LOCATION:  
**PROPOSED SITE PLAN**  
**2 PRESCOTT ST. & 35-39 LINCOLN ST.**  
**READING, MA**

PLAN TITLE:  
**CONSTRUCTION DETAILS**

PREPARED FOR:  
**READING MKM, LLC**  
**c/o KM DOVER LLC**  
**109 OAK STREET SUITE G20**  
**NEWTON, MA 02464**

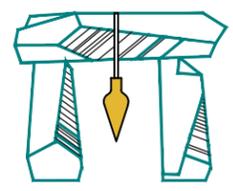
DATE: SEPTEMBER 12, 2016  
REVISED: OCTOBER 17, 2016 - PEER REVIEW RESPONSE

GENERAL NOTES:

PROJECT TITLE:  
**PROPOSED SITE PLAN  
 2 PRESCOTT ST & 35-39 LINCOLN ST  
 READING, MA**

PLAN TITLE:  
**TRASH REMOVAL SKETCH**

PREPARED FOR:  
**READING MKM, LLC  
 c/o KM DOVER LLC  
 109 OAK STREET SUITE G20  
 NEWTON, MA 02464**

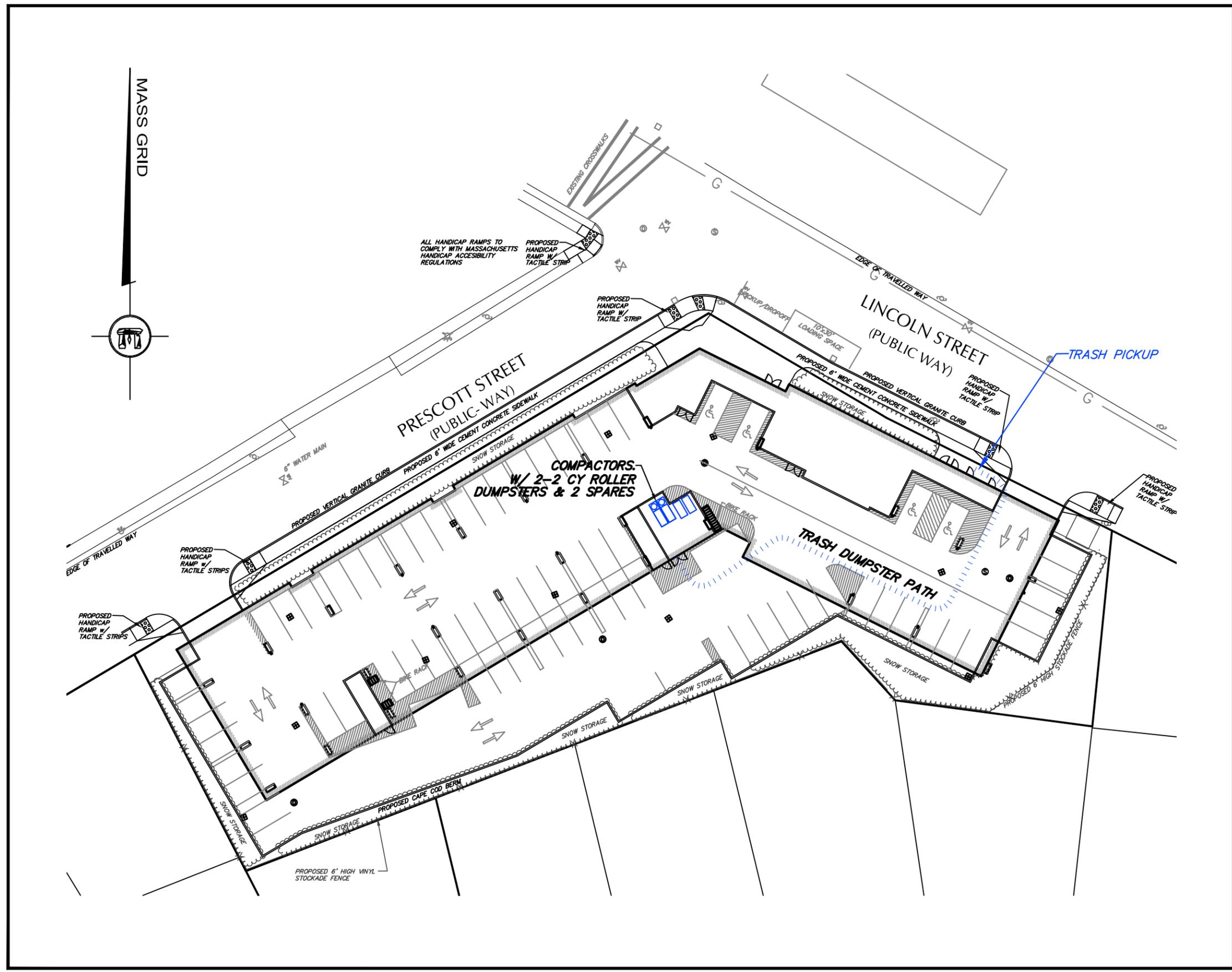
**DeCELLE**  
  
**BURKE**  
 & Associates, Inc.  
 1266 Furnace Brook Parkway, Quincy, MA 02169  
 (617) 405-5100 (O) (617) 405-5101 (F)

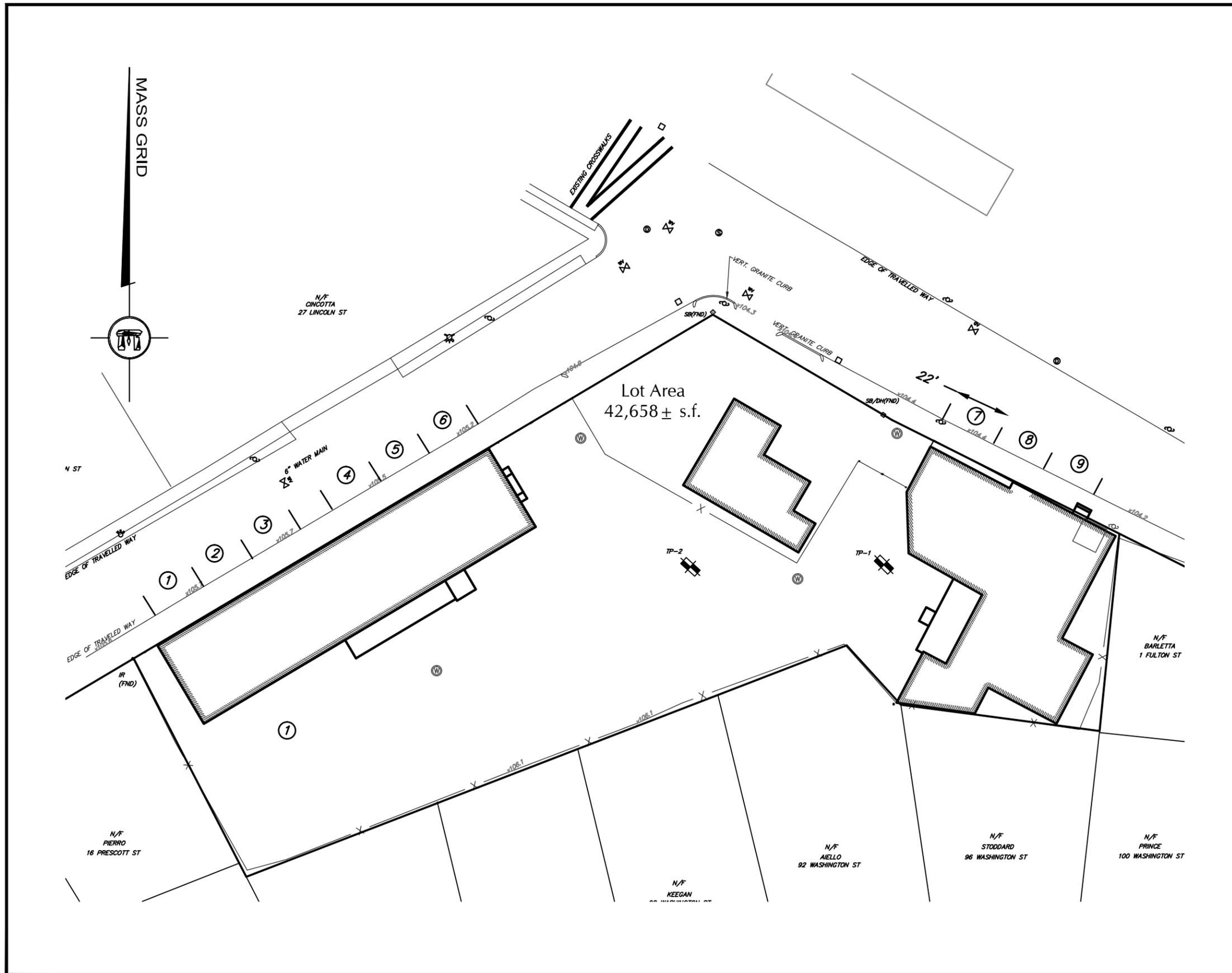
DATE: SEPTEMBER 12, 2016

REVISION: OCTOBER 17, 2016



JOB NUMBER: 14.034 | SCALE: 1" = 40'





GENERAL NOTES:

PROJECT TITLE:  
**PROPOSED SITE PLAN  
 2 PRESCOTT ST & 35-39 LINCOLN ST  
 READING, MA**

PLAN TITLE:  
**EXISTING STREET PARKING**

PREPARED FOR:  
**READING MKM, LLC  
 c/o KM DOVER LLC  
 109 OAK STREET SUITE G20  
 NEWTON, MA 02464**

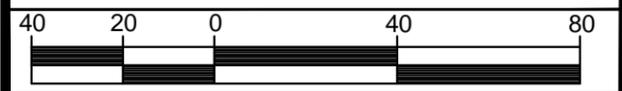
**DeCELLE**

**BURKE**  
 & Associates, Inc.

1266 Furnace Brook Parkway, Quincy, MA 02169  
 (617) 405-5100 (O) (617) 405-5101 (F)

DATE: OCTOBER 17, 2016

REVISION:



JOB NUMBER: 14.034

