

LCB Residences at Reading

75 Pearl Street
Reading, MA



SUBMISSIONS :

MARCH 14, 2014	50% PROGRESS SET
MARCH 28, 2014	70% PROGRESS SET
APRIL 7, 2014	SITE PLAN REVIEW

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the architectural team

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PROJECT INFORMATION :

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GENERAL CONTRACTOR	PLATINUM CONSTRUCTION 109 OAK STREET SUITE 202 NEWTON, MA 02464 PHONE # : 781.453.2344 FAX # : 781.453.2341
CIVIL ENGINEER	ATLANTIC ENGINEERING 97 TENNY STREET GEORGETOWN, MA 01833 PHONE # : 978.352.7870 FAX # : 978.352.9940
LANDSCAPE ARCHITECT	ULRICH BACHAND LANDSCAPE ARCHITECTURE, LLC 77 MAIN STREET WENHAM, MA 01984 PHONE # : 971.686.4486 FAX # : -
STRUCTURAL ENGINEER	MICHAEL E. WATERMAN, PE 2A AUSTIN KELLY LANE SOUTHBOROUGH, MA 01772 PHONE # : 508.229.3100 FAX # : 508.229.3133
INTERIOR DESIGNER	THE ARCHITECTURAL TEAM, INC. 50 COMMANDANT'S WAY AT ADMIRALS HILL CHELSEA, MA 02150 PHONE # : 617.889.4402 FAX # : 617.884.4329
MECHANICAL PLUMBING ELECTRICAL FIRE PRO	TBD - DESIGN BUILD - PHONE # :- FAX # :-

Consultant:

Revision:

Architect of Record:

SITE PLAN REVIEW SET

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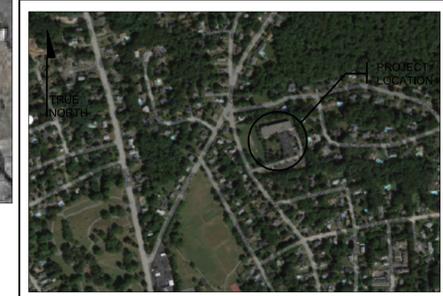
75 PEARL STREET

Sheet Name:
COVER SHEET

Project Number:
14032

Issue Date:
April 7, 2014

Sheet Number:
T0.01



DWG #	DRAWING TITLE	ISSUE DATES			
		MARCH 3, 2014 50% PROGRESS SET	MARCH 28, 2014 70% PROGRESS SET	APRIL 7, 2014 DESIGN REVIEW TEAM SET	
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T0.01	PROJECT COVER				
T0.02	DRAWING LIST				
T0.03	PROJECT INFORMATION				
CIVIL DRAWINGS					
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SHEET 2	CIVIL DETAILS				
LANDSCAPE DRAWINGS					
L1	LANDSCAPE PLAN				
L2	LANDSCAPE DETAILS				
ARCHITECTURAL DRAWINGS					
DEMOLITION PLANS					
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D1.01A	GROUND FLOOR REMOVAL PLAN PART A PLAN				
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D1.01C	GROUND FLOOR REMOVAL PLAN PART C PLAN				
D1.02	FIRST FLOOR REMOVAL PLAN OVERALL FLOOR				
D1.02A	FIRST FLOOR REMOVAL PLAN PART A PLAN				
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D1.03	SECOND FLOOR REMOVAL PLAN OVERALL FLOOR				
D1.03A	SECOND FLOOR REMOVAL PLAN PART A PLAN				
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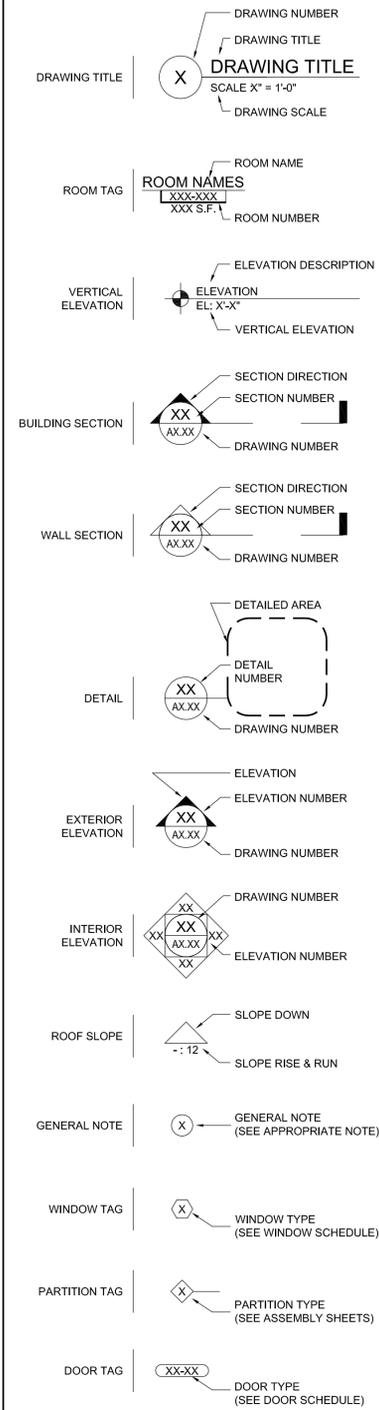
Issue Date:
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T0.02

TYPICAL ABBREVIATIONS :

ACT	ACOUSTICAL CEILING TILE	L	LENGTH
AFB	ABOVE FINISH FLOOR	LAM	LAMINATED SAFETY GLASS
AFG	ALUMINUM - FULL GLASS	LP	LOW POINT
ACTV	ACTIVE LEAF	LB	POUNDS
ALUM	ALUMINUM	LDG	LANDING
ALT	ALTERNATE	LH	LEFTHAND
ANSI	AMERICAN NATIONAL STANDARD INSTITUTE		
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MAX	MAXIMUM
APPROX	APPROXIMATE	MFR	MANUFACTURER
AUTO	AUTOMATIC DOOR	MO	MASONRY OPENING
AVAF	AUDIO VISUAL FIRE ALARM	MSDG	METAL SIDING
		MTI	METAL
		MTD	MEDIUM
		MIN	MINIMUM
		MISC	MISCELLANEOUS
		MAT	MATERIAL
		MUL	MULLION
C	CENTER LINE	N	NORTH
CONC	CONCRETE	NIC	NOT IN CONTRACT
C/G	CMU / GWB	NEC	NATIONAL ELECTRIC CODE
CMU	CONCRETE MASONRY UNIT	NO	NUMBER
C.POL	CONCRETE POLYMER	NOM	NOMINAL
CPT	CARPET		
CT	CERAMIC TILE	OC	ON CENTER
CSK	COUNTERSINK	OCEW	ON CENTER EACH WAY
CLG	CEILING	OPNG	OPENING
CR	CARD READER	OPP	OPPOSITE
		OT	OUTLET
DET	DETAIL		
DIA	DIAMETER	PF	PRE OR FACTORY FINISH
DIM	DIMENSION	PH	PHONE
DIV	DIVIDED (DIVISION)	PM	PRESSED METAL
DN	DOWN	PR	PAIR
DS	DOWNSPOUT	PSF	POUNDS PER SQUARE FOOT
DSL	DOWNSPOUT LEADER	PT	PAINT (SEE SPECS)
DWG	DRAWING	PW	PLYWOOD (FIRE RETARDANT)
		PL	PLATE / PROPERTY LINE
		PLYWD	PLYWOOD
		PTD	PAINTED
EA	EACH	R	RADIUS
E	EAST	RBR	RUBBER
ELEC	ELECTRICAL	RUF	ROLL-UP FIRE DOOR
ELEV	ELEVATION	RB	RUBBER BASE
ENCL	ENCLOSURE	RD	ROAD
ENT	ENTRANCE	RECP	RECEPTACLE
EP	EPOXY PAINT (SEE SPECS)	REFR	REFRIGERATOR
EQ	EQUAL	REQD	REQUIRED
EQUIP	EQUIPMENT	RH	RIGHT HAND
EXT	EXTERIOR	RO	ROUGH OPENING
FAPS	FIRE ALARM PULL SYSTEM	S	SOUTH
FCS	FLOOR COATING SPECIFICATION	SCH	SCHEDULE
FRP	FIBERGLASS REINFORCED PLASTIC	SL	SEALER / DUST PROOFER
FIN	FINISH	STL	STEEL
FL	FLOOR	S/S	STAINLESS STEEL
FLUOR	FLUORESCENT	SECT	SECTIONAL
FTG	FOOTING	SHT	SHEET
FP	FIRE PROTECTION	SIM	SIMILAR
		SPEC	SPECIFICATION
		SQ FT	SQUARE FEET
		ST	STREET
		STD	STANDARD
GL	GLASS	TD	TELEPHONE
GWB	GYPSTUM WALL BOARD	T&G	TONGUE AND GROOVE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	TEL	TELEPHONE
GFRC	GLASS FIBER REINFORCED CONCRETE	TEMP	TEMPERATURE
GA	GUAGE	TR	TREAD
GI	GALVANIZED IRON	TST	THERMOSTAT
GYP	GYPSTUM	TYP	TYPICAL
HB	HOSE BIB	UON	UNLESS OTHERWISE NOTED
HGT	HEIGHT		
HP	HORSEPOWER		
HM	HOLLOW METAL		
H P	HIGH POINT		
HR	HOUR		
H/S	HARDENER / SEALANT		
IC	INTERCOM	VBC	VINYL BASE (COVERED)
ID	INSIDE DIAMETER	VBS	VINYL BASE (STRAIGHT)
IL	INTERLOCK	VCT	VINYL COMPOSITION TILE
IMS	INSULATED METAL SIDING	VENT	VENTILATION
IN	INCH	VERT	VERTICAL
INAC	INACTIVE LEAF		
INTP	INTERMEDIATE POINT		
INT	INTERIOR		
JT	JOINT	W	WEST
		WP	WATERPROOFING
		WD	WOOD

TYPICAL ANNOTATION :



BUILDING INFORMATION:

	EXISTING	PROPOSED
UNIT COUNT	87	84
BED COUNT	92	94
GROSS SF	APPROX 89,750	APPROX 89,750

CODE INFORMATION:

APPLICABLE CODES :

MASSACHUSETTS STATE BUILDING CODE, 780 CMR - EIGHTH EDITION
 MASSACHUSETTS ARCHITECTURAL ACCESS BOARD RULES AND REGULATIONS, 521 CMR
 INTERNATIONAL EXISTING BUILDING CODE 2009

FLOOR AREA SUMMARY :

ASSISTED LIVING BUILDING :
 NO SQUARE FOOTAGE IS BEING ADDED TO THE BUILDING. A WALKWAY CANOPY COVERING 285 SF OF SIDEWALK IS PROPOSED. THE STRUCTURE IS COMPLETELY INDEPENDENT FROM THE EXISTING BUILDING

CHAPTER 3 - USE GROUP AND OCCUPANCY CLASSIFICATION

310.2. GROUP R DEFINITIONS

RESIDENTIAL CARE/ASSISTED LIVING FACILITIES - A BUILDING OR PART THEREOF HOUSING PERSONS ON A 24-HOUR BASIS, WHO BECAUSE OF AGE, MENTAL DISABILITY OR OTHER REASONS LIVE IN A SUPERVISED RESIDENTIAL ENVIRONMENT WHICH PROVIDES PERSONAL CARE SERVICES. THE OCCUPANTS ARE CAPABLE OF RESPONDING TO AN EMERGENCY SITUATION WITHOUT PHYSICAL ASSISTANCE FROM STAFF. THIS CLASSIFICATION SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING: RESIDENTIAL BOARD AND CARE FACILITIES, ASSISTED LIVING FACILITIES, HALFWAY HOUSES, GROUP HOMES, CONGREGATE CARE FACILITIES, SOCIAL REHABILITATION FACILITIES, ALCOHOL AND DRUG ABUSE CENTERS AND CONVALESCENT FACILITIES. ASSISTED LIVING FACILITIES SHALL CONFORM WITH THIS CODE AND M.G.L. C. 19D AS ADMINISTERED BY THE EXECUTIVE OFFICE OF ELDER AFFAIRS. FOR BUILDING CODE PURPOSES PORTIONS OF ASSISTED LIVING RESIDENCES WHICH ARE USED FOR ANY USE OTHER THAN R USE SHALL BE CLASSIFIED, DESIGNED AND CONSTRUCTED IN ACCORDANCE FOR THEIR INTENDED USE.

BECAUSE THE EXECUTIVE OFFICE OF ELDER AFFAIRS CLASSIFIES MEMORY CARE AS ASSISTED LIVING AND THIS FACILITY WILL MAINTAIN IT'S LICENSURE WITH THE EOE, NO USE GROUP CHANGE IS REQUIRED FOR THE PROPOSED WORK.

FIRE PROTECTION SYSTEMS (780 CMR CHAPTER 9) :

906 FIRE SPRINKLER SYSTEM : NFPA 13

MEANS OF EGRESS (780 CMR CHAPTER 10) :

- 10..... REMOTENESS : THE MINIMUM SEPARATION DISTANCE OF TWO EXITS SHALL BE 1/3" OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION
- 1015.1 LENGTH OF TRAVEL : MAX LENGTH OF EXIT ACCESS TRAVEL : 250'-0" MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT : ASSEMBLY, UNCONCENTRATED (TABLE & CHAIRS)

INTERNATIONAL EXISTING BUILDING CODE:

FLOOR AREA SUMMARY :

ASSISTED LIVING BUILDING :
 NO SQUARE FOOTAGE IS BEING ADDED TO THE BUILDING. A WALKWAY CANOPY COVERING 285 SF OF SIDEWALK IS PROPOSED. THE STRUCTURE IS COMPLETELY INDEPENDENT FROM THE EXISTING BUILDING

CHAPTER 4 - CLASSIFICATION OF WORK:

403.1 SCOPE: LEVEL 1 ALTERATIONS INCLUDE THE REMOVAL AND REPLACEMENT OR THE COVERING OF EXISTING MATERIALS, ELEMENTS, EQUIPMENT, OR FIXTURES USING NEW MATERIALS, ELEMENTS, EQUIPMENT, OR FIXTURES THAT SERVE THE SAME PURPOSE.

ALL RENOVATIONS TAKING PLACE WITHIN THE RESIDENTIAL UNITS ARE CONSIDERED LEVEL 1 ALTERATIONS AND SHALL COMPLY WITH CHAPTER 6 OF THE IEBC.

CHAPTER 6 - ALTERATIONS - LEVEL 1

602.4 BUILDING ELEMENTS AND MATERIALS: ALL NEW WORK SHALL COMPLY WITH MATERIALS AND METHODS REQUIREMENTS IN THE INTERNATIONAL BUILDING CODE, INTERNATIONAL ENERGY CONSERVATION CODE, INTERNATIONAL MECHANICAL CODE, AND INTERNATIONAL PLUMBING CODE, AS APPLICABLE, THAT SPECIFY MATERIAL STANDARDS, DETAIL OF INSTALLATION AND CONNECTION, JOINTS, PENETRATIONS, AND CONTINUITY OF ANY ELEMENT, COMPONENT, OR SYSTEM IN THE BUILDING.

ALL NEW MATERIALS AND METHODS WILL COMPLY WITH THEIR APPLICABLE CODES.

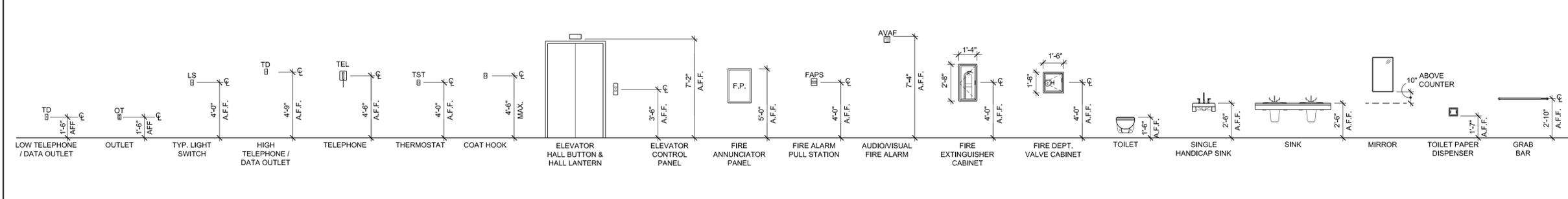
603.1 FIRE PROTECTION: ALTERATIONS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF FIRE PROTECTION PROVIDED.

ALL ALTERATIONS WILL MAINTAIN THE CURRENT LEVEL OF FIRE PROTECTION. HEADS WILL ALSO BE ADDED INTO CLOSETS THAT DO NOT CURRENTLY CONTAIN COVERAGE.

604.1 MEANS OF EGRESS: REPAIRS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS.

ALL ALTERATIONS WILL MAINTAIN THE CURRENT LEVEL OF PROTECTION PROVIDED FOR THE MEANS OF EGRESS.

TYPICAL MOUNTING HEIGHTS :



GENERAL NOTES:

- THESE HEIGHTS ARE FOR GENERAL CONDITIONS ONLY; CERTAIN ITEMS MAY BE LOCATED OTHERWISE
- ALIGN COMPONENTS VERTICALLY WHERE POSSIBLE



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SITE PLAN REVIEW SET

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Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

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Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

**GROUND FLOOR
REMOVAL PLAN
OVER ALL PLAN**

Project Number:

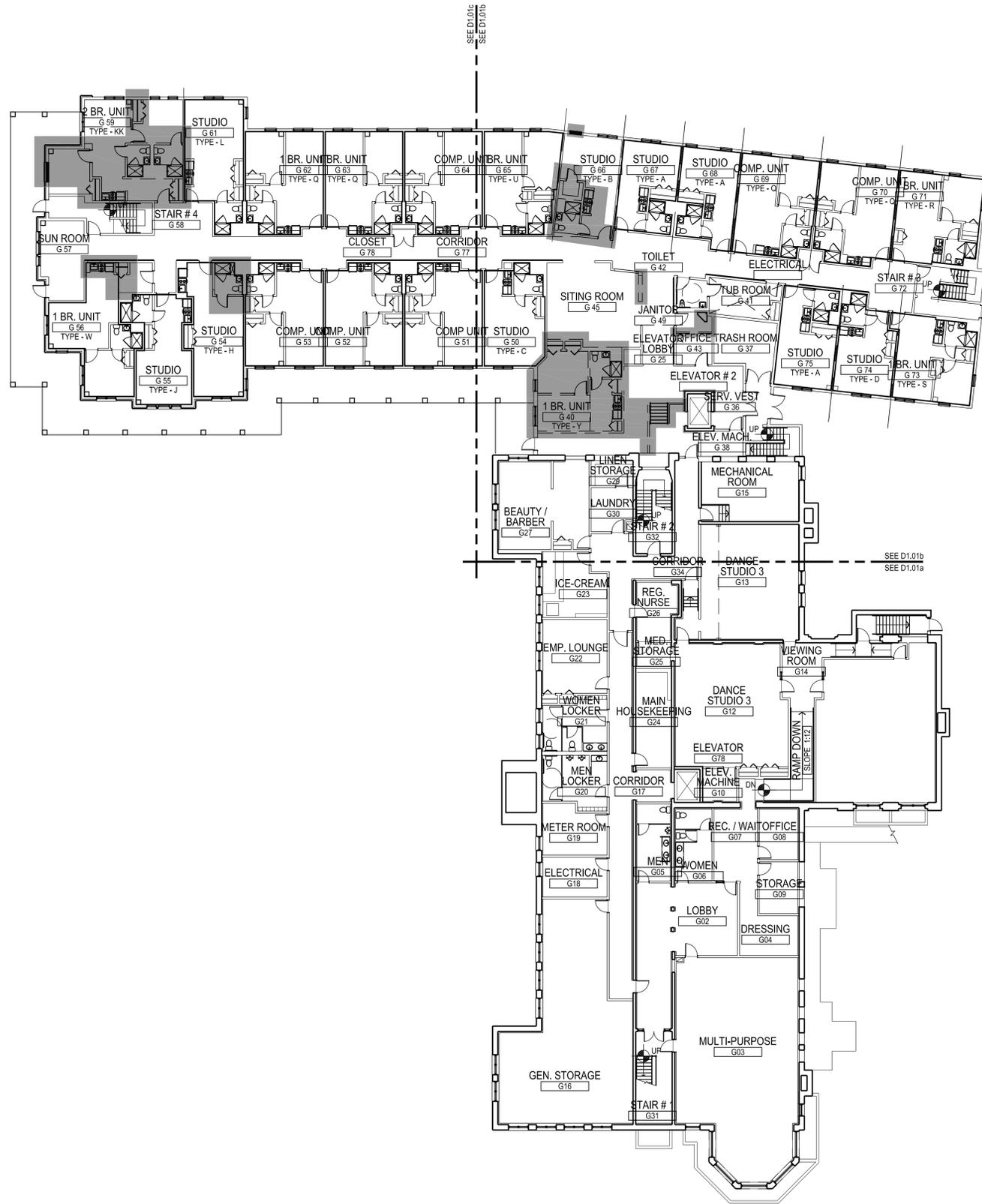
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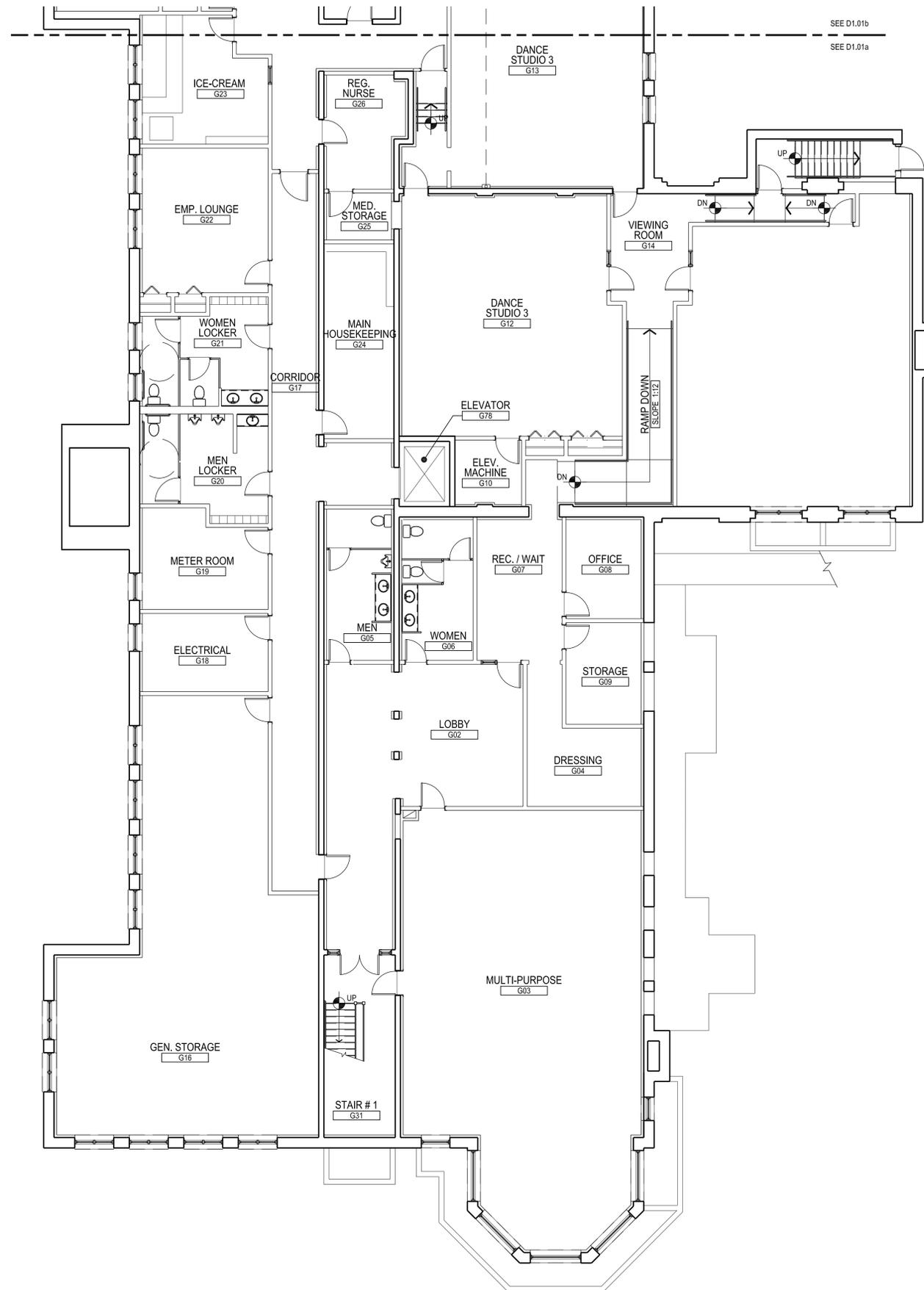
Sheet Number:

D1.01



10 GROUND FLOOR REMOVALS PLAN
SCALE: 1/16" = 1'-0"

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GENERAL NOTES - REMOVALS

- A. VERIFY CONDITIONS AND DIMENSIONS IN FIELD.
- B. REMOVE WALLS, DOORS, FIXTURES AND APPURTENANCES AS INDICATED AND AS REQUIRED TO PERFORM MODIFICATIONS AS SHOWN ON PROPOSED PLANS.
- C. CUT AND CAP ALL ABANDONED PLUMBING AND MECHANICAL PIPING WITHIN FLOORS AND WALLS.
- D. REMOVE EXISTING ELECTRICAL OUTLETS AND WALL SWITCHES THROUGHOUT AFFECTED AREAS. PREPARE FOR RELOCATION OF OUTLETS AND SWITCHES WITHIN ACCESSIBLE REACH RANGES. REFER TO ELECTRICAL DRAWINGS.
- E. COORDINATE DISCONNECTION OF UTILITY SERVICES WITH OWNER / MANAGEMENT AS THIS WILL AFFECT THE UNIT ABOVE.
- F. REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

KEY NOTES - REMOVALS

- 1. EXISTING KITCHEN. REMOVE EXISTING CABINETS, APPLIANCES, PLUMBING FIXTURES AND ALL APPURTENANCES. PREP FOR NEW KITCHEN INSTALLATION. REMOVE ALL EXISTING FLOORING DOWN TO SUBFLOOR. VERIFY CONDITIONS IN FIELD. PREP FOR NEW FLOORING INSTALLATION. REFER TO PROPOSED PLANS.
- 2. EXISTING BATHROOM. REMOVE EXISTING PLUMBING, FIXTURES, LIGHT FIXTURES, ACCESSORIES AND ALL APPURTENANCES. PREP FOR NEW BATHROOM INSTALLATION. REMOVE EXISTING FLOORING AND ALL APPURTENANCES DOWN TO EXISTING SUBFLOOR. VERIFY CONDITIONS IN FIELD. PREP FOR NEW FLOORING INSTALLATION. REFER TO PROPOSED PLANS.
- 3. REMOVE EXISTING DOOR, HARDWARE, AND FRAME IN CONJUNCTION WITH WALL REMOVALS.
- 4. NEW OPENING IN EXISTING WALL. PROVIDE NEW STEEL LINTEL OR STRUCTURAL HEADER AS REQUIRED TO CREATE NEW OPENING. REFER TO PROPOSED PLANS.
- 5. REMOVE EXISTING FLOOR FINISH TO EXISTING SUBFLOOR. VERIFY EXISTING CONDITIONS IN FIELD. PREP FOR NEW FLOORING INSTALLATION. REFER TO PROPOSED PLANS AND SPECIFICATION FOR FLOORING TYPE.
- 6. REMOVE EXISTING DOOR / WINDOW ASSEMBLY. PREPARE OPENING TO RECEIVE MODIFIED WINDOW ASSEMBLY.
- 7. REMOVE DOOR SLAB AND PREP FRAME TO RECEIVE NEW DOOR.
- 8. REMOVE EXISTING GWB AND FRAMING AS REQUIRED TO COMPLETE THE SCOPE.
- 9. REMOVE STAIRS AND HAND RAILS. PREPARE OPENING FOR NEW STAIR CONFIGURATION.
- 10. CAP AND FILL EXISTING FLOOR DRAIN.
- 11. REMOVE EXISTING WINDOW. PREPARE OPENING FOR NEW DOOR INSTALLATION.
- 12. REMOVE EXISTING GRANITE STEPS AND RAILINGS.
- 13. REMOVE EXISTING SOFFIT.

KEY TO SYMBOLS - REMOVALS

- EXISTING WALL TO REMAIN
- - - EXISTING WALL OR ELEMENT TO BE REMOVED
- DEMOLITION ZONE

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75 PEARL STREET

Sheet Name:

**GROUND FLOOR
 REMOVAL PLAN
 PART A PLAN**

Project Number:

14032

Issue Date:

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Sheet Number:

D1.01a

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10 GROUND FLOOR REMOVALS PLAN - PART C
 SCALE: 1/8" = 1'-0"

GENERAL NOTES - REMOVALS

- A. VERIFY CONDITIONS AND DIMENSIONS IN FIELD.
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- F. REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

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- 10. CAP AND FILL EXISTING FLOOR DRAIN.
- 11. REMOVE EXISTING WINDOW. PREPARE OPENING FOR NEW DOOR INSTALLATION.
- 12. REMOVE EXISTING GRANITE STEPS AND RAILINGS.
- 13. REMOVE EXISTING SOFFIT.

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75 PEARL STREET

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**GROUND FLOOR
 REMOVAL PLAN
 PART C PLAN**

Project Number:

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Issue Date:

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D1.01c

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75 PEARL STREET

Sheet Name:

**FIRST FLOOR
REMOVAL PLAN
OVER ALL PLAN**

Project Number:

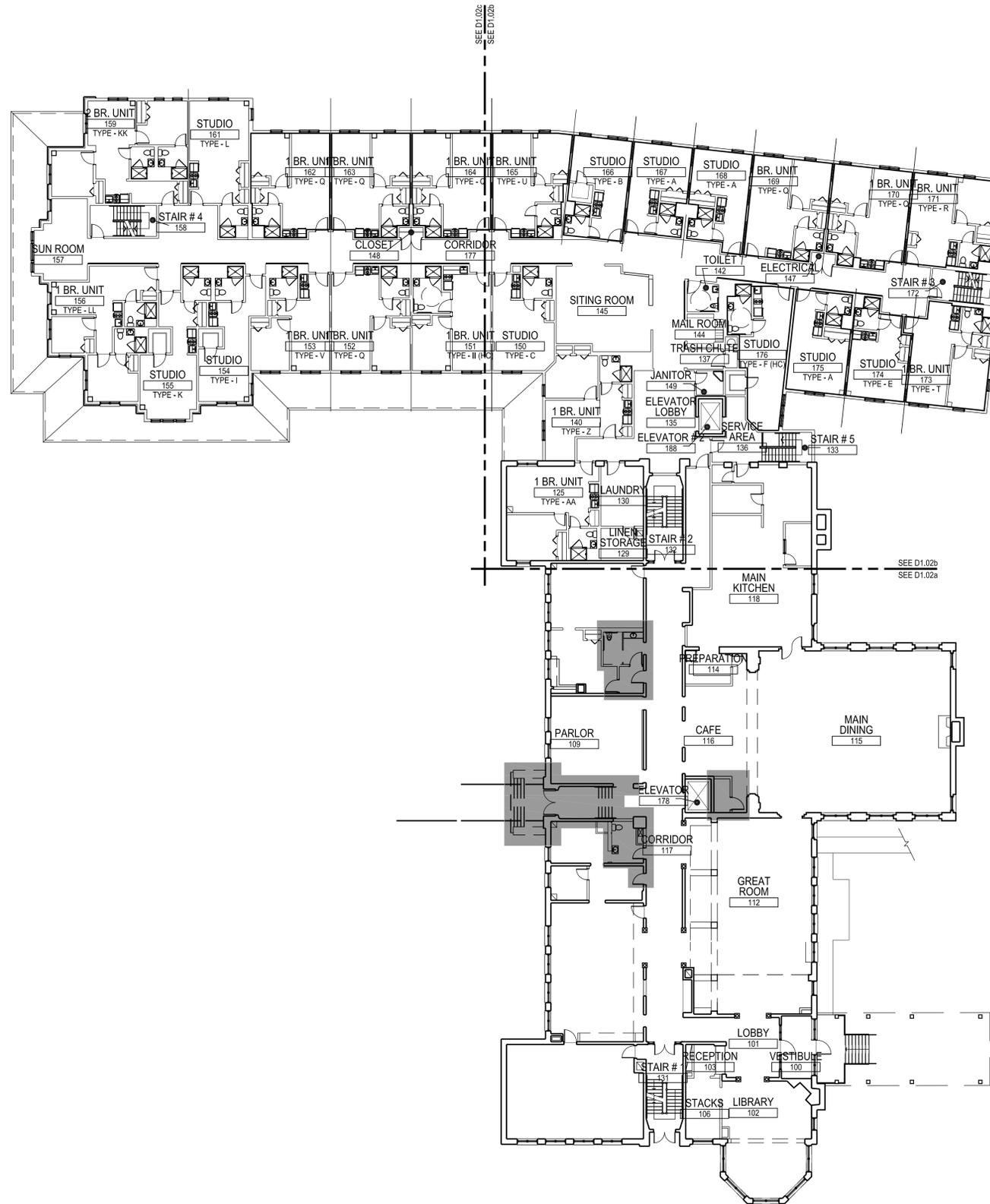
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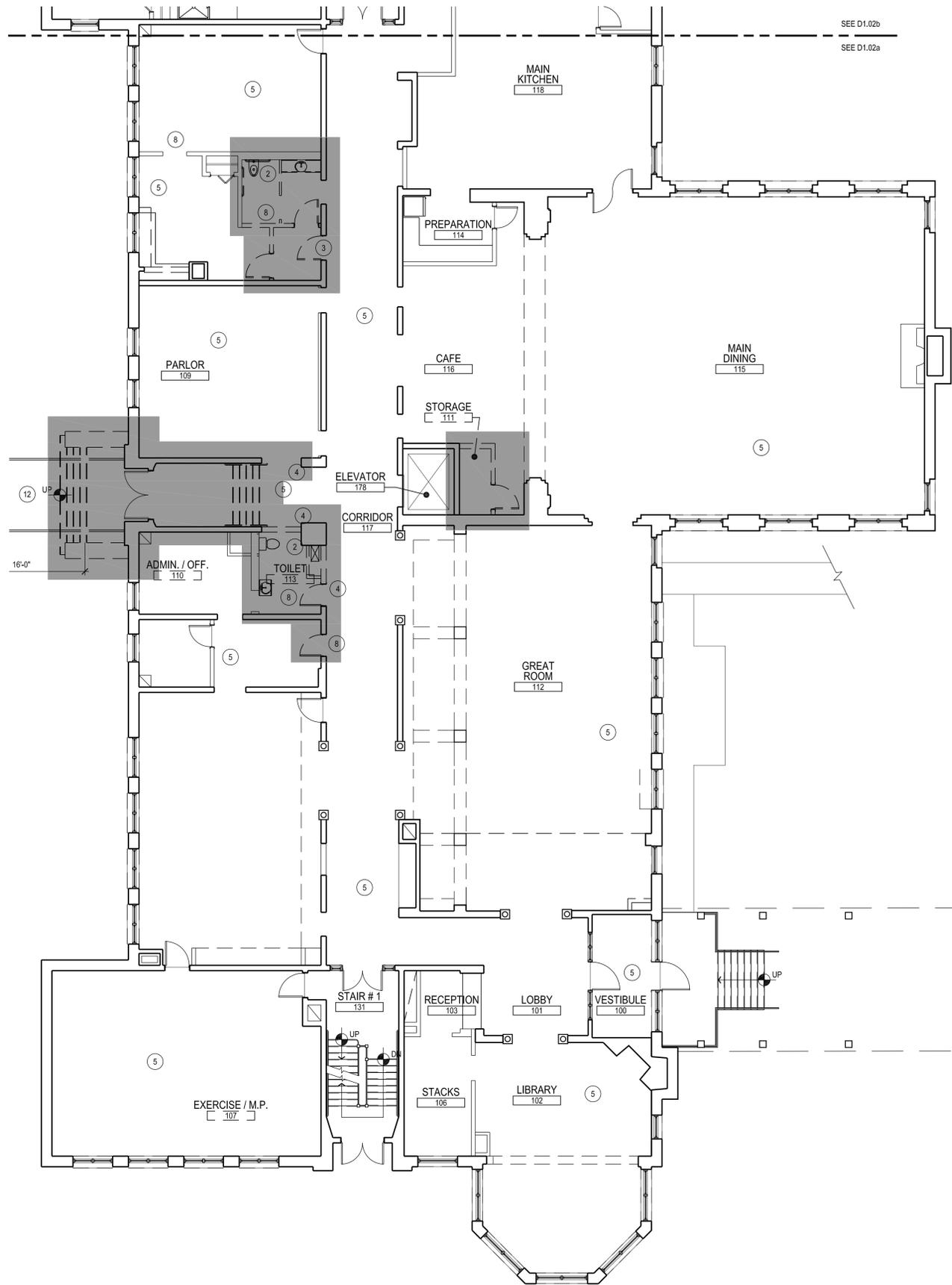
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April 7, 2014

Sheet Number:

D1.02





SEE D1.02b
SEE D1.02a

GENERAL NOTES - REMOVALS

- A. VERIFY CONDITIONS AND DIMENSIONS IN FIELD.
- B. REMOVE WALLS, DOORS, FIXTURES AND APPURTENANCES AS INDICATED AND AS REQUIRED TO PERFORM MODIFICATIONS AS SHOWN ON PROPOSED PLANS.
- C. CUT AND CAP ALL ABANDONED PLUMBING AND MECHANICAL PIPING WITHIN FLOORS AND WALLS.
- D. REMOVE EXISTING ELECTRICAL OUTLETS AND WALL SWITCHES THROUGHOUT AFFECTED AREAS. PREPARE FOR RELOCATION OF OUTLETS AND SWITCHES WITHIN ACCESSIBLE REACH RANGES. REFER TO ELECTRICAL DRAWINGS.
- E. COORDINATE DISCONNECTION OF UTILITY SERVICES WITH OWNER / MANAGEMENT AS THIS WILL AFFECT THE UNIT ABOVE.
- F. REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

KEY NOTES - REMOVALS

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- 3. REMOVE EXISTING DOOR, HARDWARE, AND FRAME IN CONJUNCTION WITH WALL REMOVALS.
- 4. NEW OPENING IN EXISTING WALL. PROVIDE NEW STEEL LINTEL OR STRUCTURAL HEADER AS REQUIRED TO CREATE NEW OPENING. REFER TO PROPOSED PLANS.
- 5. REMOVE EXISTING FLOOR FINISH TO EXISTING SUBFLOOR. VERIFY EXISTING CONDITIONS IN FIELD. PREP FOR NEW FLOORING INSTALLATION. REFER TO PROPOSED PLANS AND SPECIFICATION FOR FLOORING TYPE.
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- 10. CAP AND FILL EXISTING FLOOR DRAIN.
- 11. REMOVE EXISTING WINDOW. PREPARE OPENING FOR NEW DOOR INSTALLATION.
- 12. REMOVE EXISTING GRANITE STEPS AND RAILINGS.
- 13. REMOVE EXISTING SOFFIT.

KEY TO SYMBOLS - REMOVALS

- EXISTING WALL TO REMAIN
- - - EXISTING WALL OR ELEMENT TO BE REMOVED
- DEMOLITION ZONE



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Drawn: P.H.
Checked: P.M.
Scale: AS NOTED
Key Plan:

Project Name:
LCB Residences at Reading

75 PEARL STREET

Sheet Name:
**FIRST FLOOR
REMOVAL PLAN
PART A PLAN**

Project Number:
14032

Issue Date:
April 7, 2014

Sheet Number:
D1.02a

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: P.H.

Checked: P.M.

Scale: AS NOTED

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

**FIRST FLOOR
REMOVAL PLAN
PART B PLAN**

Project Number:

14032

Issue Date:

April 7, 2014

Sheet Number:

D1.02b

GENERAL NOTES - REMOVALS

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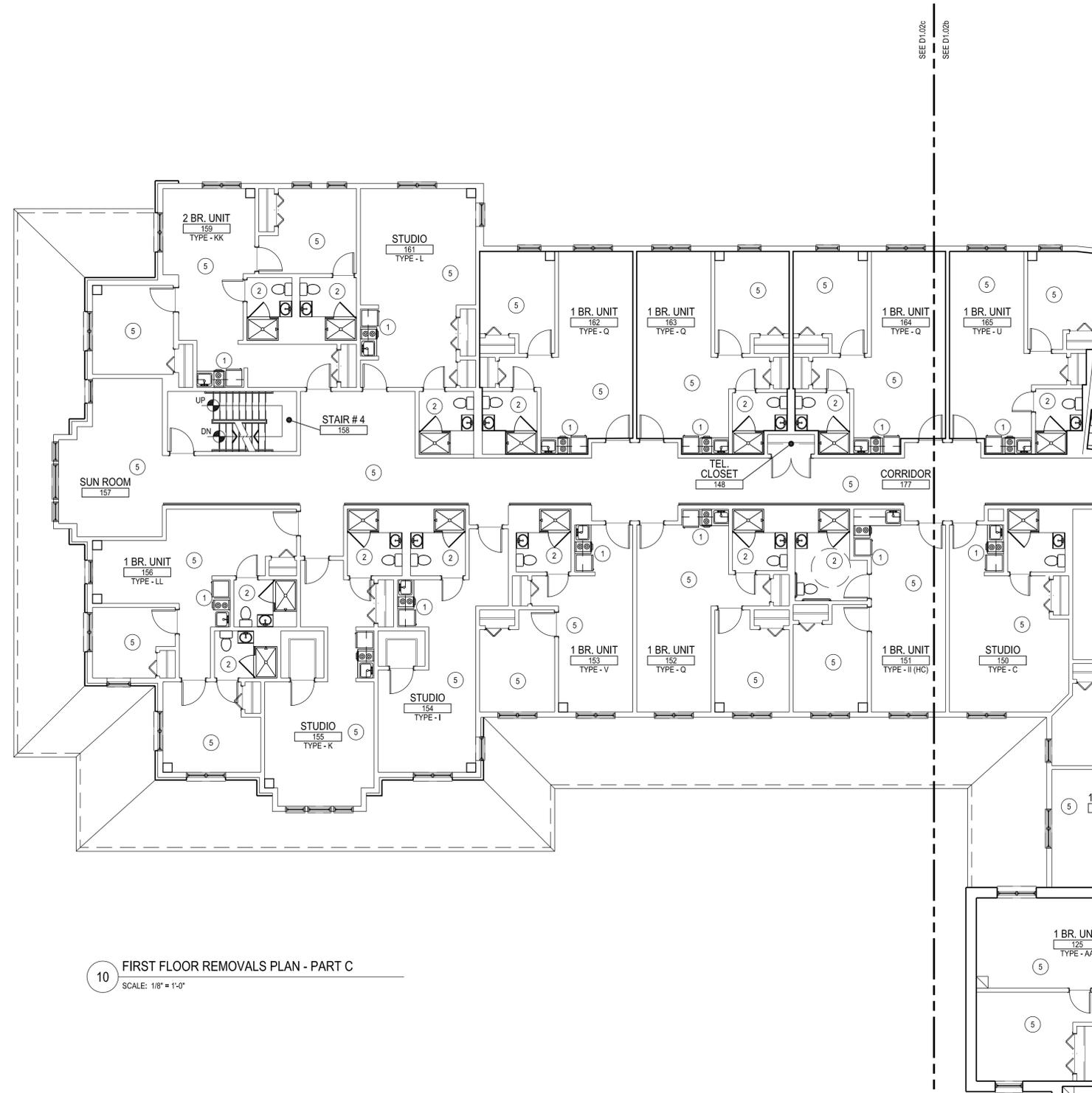
KEY TO SYMBOLS - REMOVALS

- EXISTING WALL TO REMAIN
- - - EXISTING WALL OR ELEMENT TO BE REMOVED
- DEMOLITION ZONE



10 FIRST FLOOR REMOVALS PLAN - PART B
SCALE: 1/8" = 1'-0"

SEE D1.02b
SEE D1.02a



10 FIRST FLOOR REMOVALS PLAN - PART C
 SCALE: 1/8" = 1'-0"

GENERAL NOTES - REMOVALS

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KEY TO SYMBOLS - REMOVALS

- EXISTING WALL TO REMAIN
- - - EXISTING WALL OR ELEMENT TO BE REMOVED
- DEMOLITION ZONE

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: P.H.

Checked: P.M.

Scale: AS NOTED

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

**FIRST FLOOR
 REMOVAL PLAN
 PART C PLAN**

Project Number:

14032

Issue Date:

April 7, 2014

Sheet Number:

D1.02c

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: P.H.

Checked: P.M.

Scale: AS NOTED

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

**SECOND FLOOR
REMOVAL PLAN
OVER ALL PLAN**

Project Number:

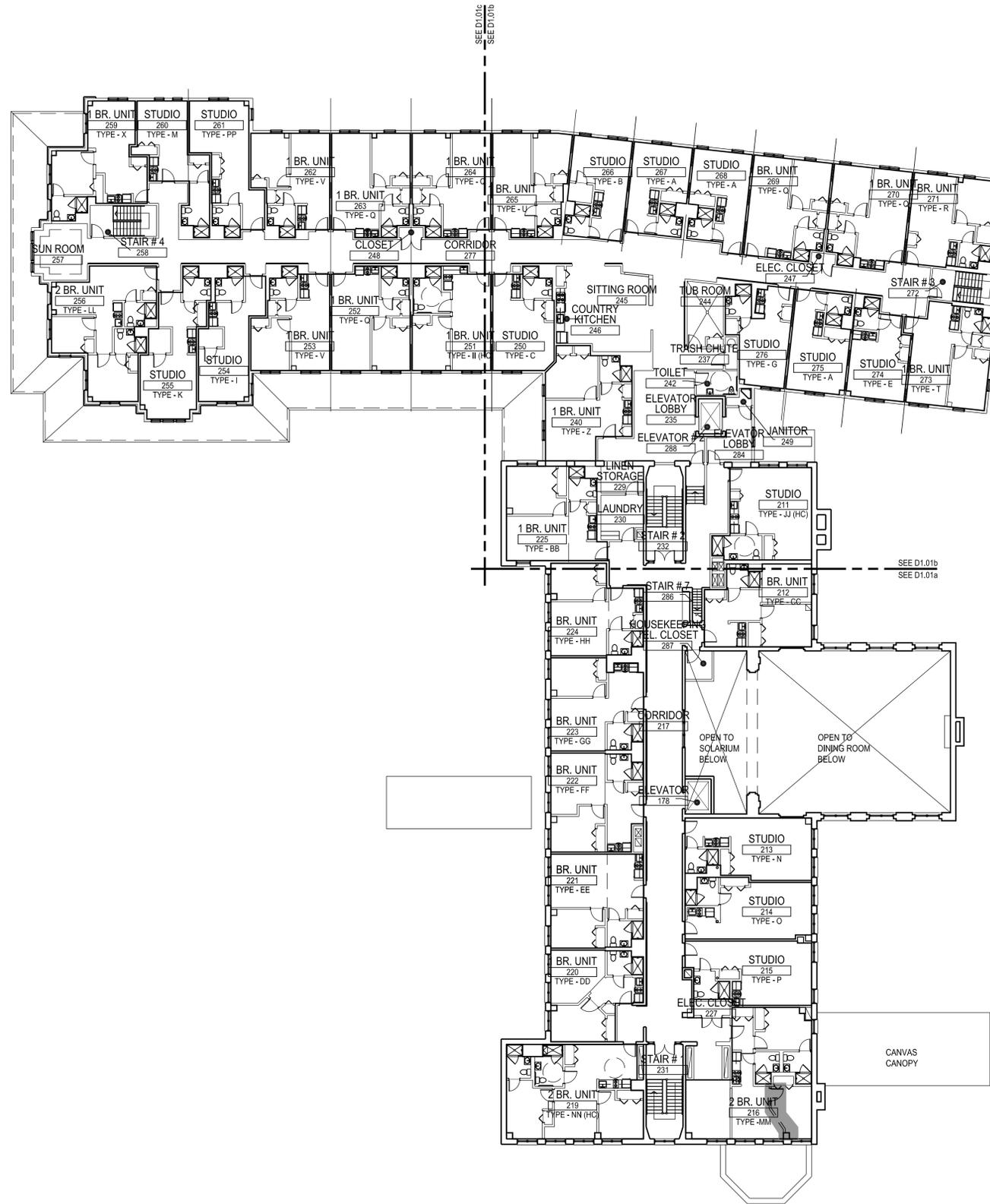
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Issue Date:

April 7, 2014

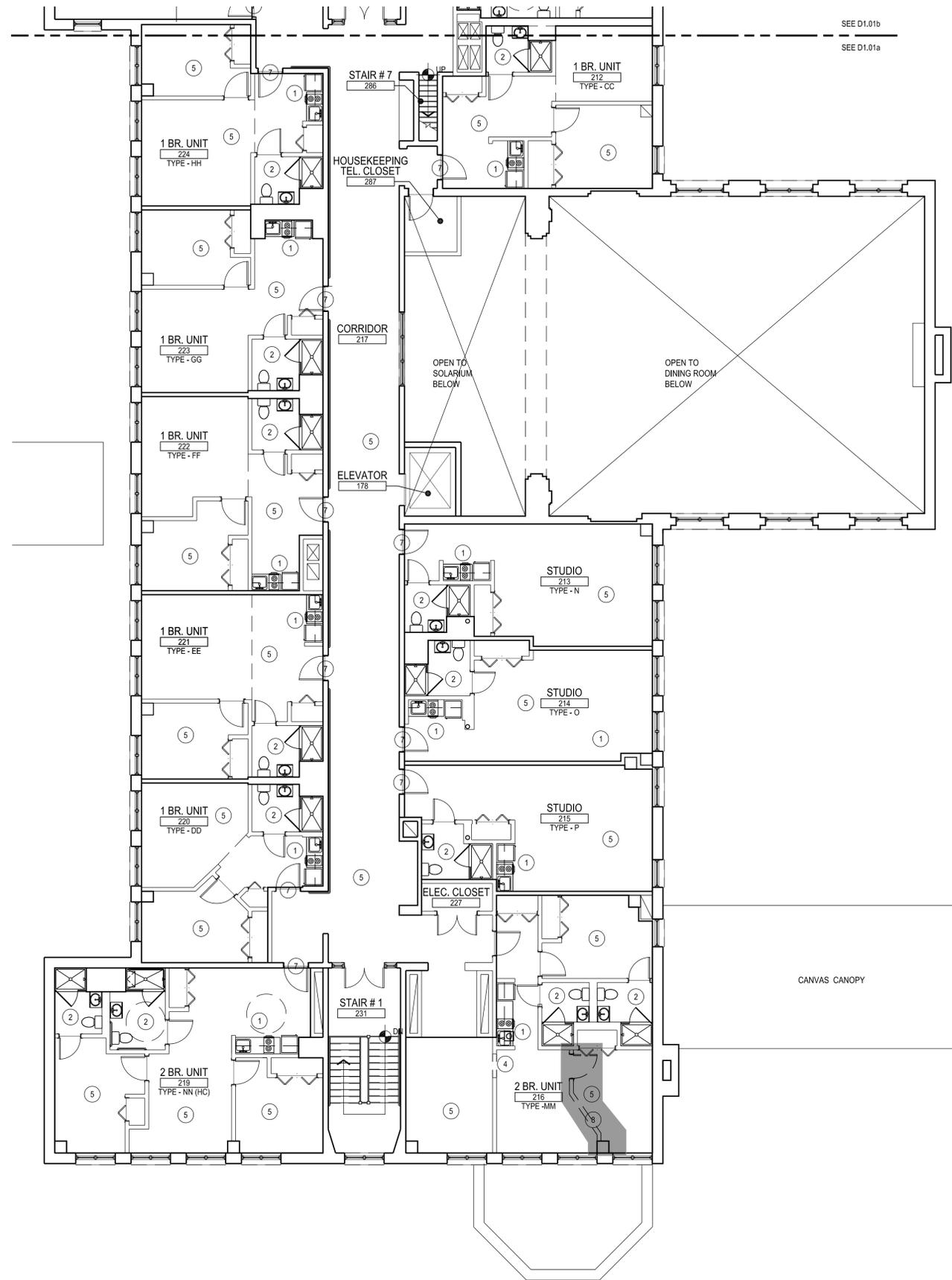
Sheet Number:

D1.03



10 SECOND FLOOR REMOVALS PLAN
SCALE: 1/16" = 1'-0"

Monday, April 07, 2014 2:27:55 PM
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SEE D1.01b
 SEE D1.01a

GENERAL NOTES - REMOVALS

- A. VERIFY CONDITIONS AND DIMENSIONS IN FIELD.
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KEY TO SYMBOLS - REMOVALS

- EXISTING WALL TO REMAIN
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Checked: P.M.

Scale: AS NOTED

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

**SECOND FLOOR
 REMOVAL PLAN
 PART A PLAN**

Project Number:

14032

Issue Date:

April 7, 2014

Sheet Number:

D1.03a

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10 SECOND FLOOR REMOVALS PLAN - PART B
 SCALE: 1/8" = 1'-0"

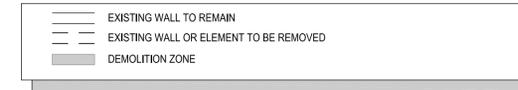
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KEY TO SYMBOLS - REMOVALS



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LCB Residences at Reading

75 PEARL STREET

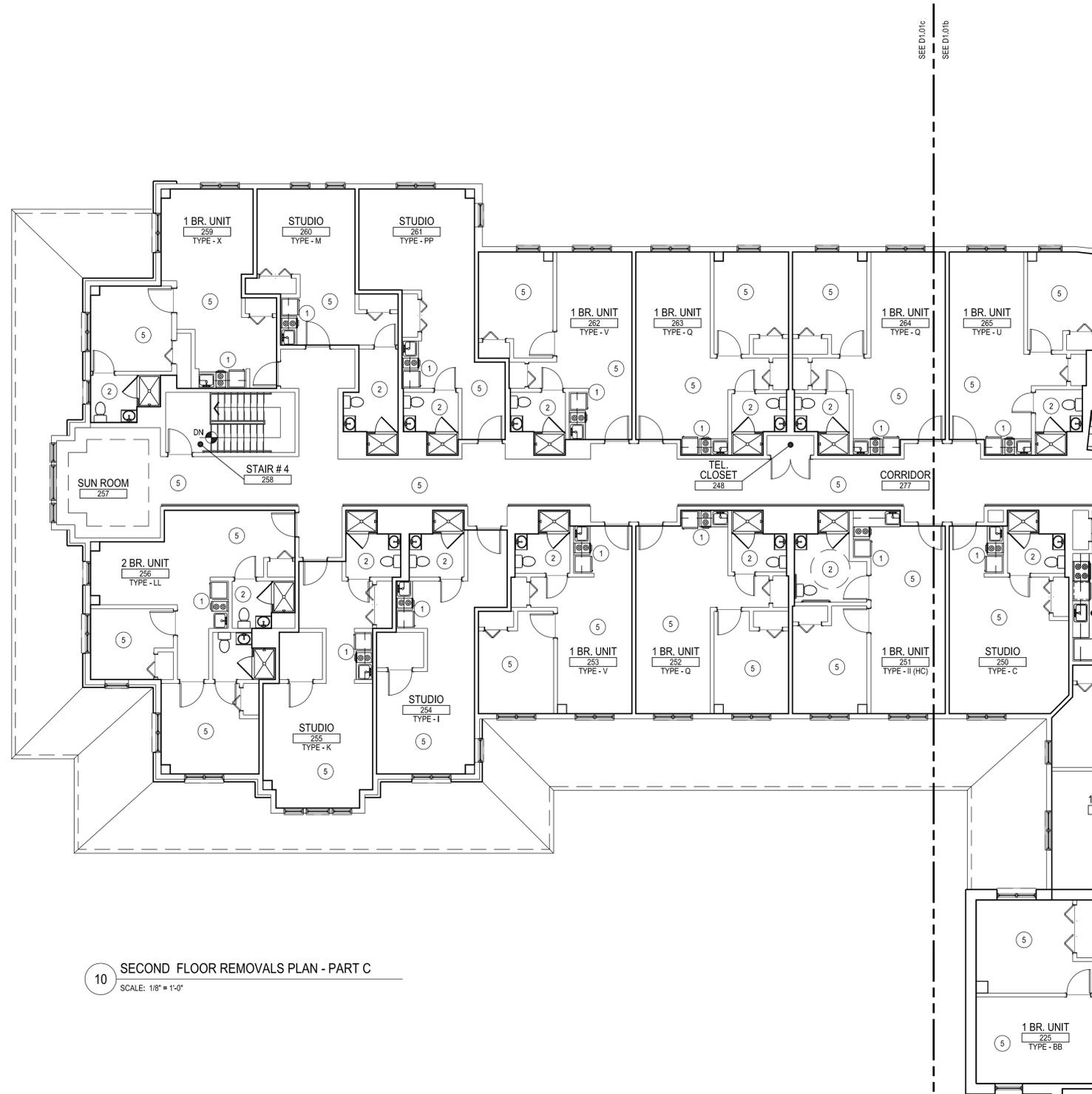
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**SECOND FLOOR
 REMOVAL PLAN
 PART B PLAN**

Project Number:
14032

Issue Date:
April 7, 2014

Sheet Number:
D1.03b

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10 SECOND FLOOR REMOVALS PLAN - PART C
 SCALE: 1/8" = 1'-0"

GENERAL NOTES - REMOVALS

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Drawn: P.H.

Checked: P.M.

Scale: AS NOTED

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

**SECOND FLOOR
 REMOVAL PLAN
 PART C PLAN**

Project Number:

14032

Issue Date:

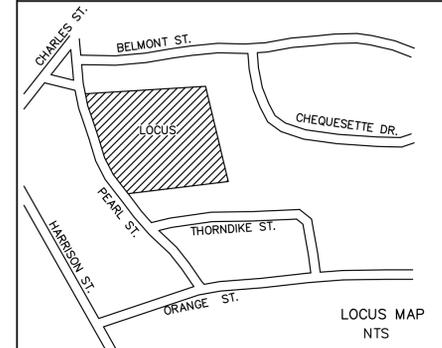
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RECORD PLAN: PLAN 1172 OF 1995
 RECORD DEED: BOOK 25914, PAGE 1



APPROVED BY THE TOWN OF READING COMMUNITY
 PLANNING AND DEVELOPMENT COMMISSION.

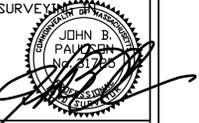
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APPLICATION FILED: _____ APPROVAL DATE: _____
 HEARING DATE: _____ DATE ENDORSED: _____

NOTES
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 OF READING SEWER DATUM.

246/028.0-0000-0098.0
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 FORMANCE WITH THE PROCEDURAL, TECHNICAL & ETHICAL
 STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN
 THE COMMONWEALTH OF MASSACHUSETTS.



**PLAN OF LAND AT
 LONGWOOD PLACE
 75 PEARL STREET
 IN
 READING, MA**

ASSESSORS M-B-L-246/028.0-0000-0079.0

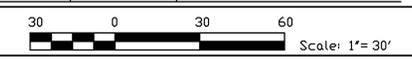
PROPERTY OWNER:
 READING SENIOR LIVING ASSOC. LIMITED PARTNERSHIP
 75 PEARL STREET
 READING, MA. 01867

ENGINEER
ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC.
 97 TENNEY STREET - GEORGETOWN, MA 01833
 PHONE: 978-352-7870 FAX: 978-352-9940

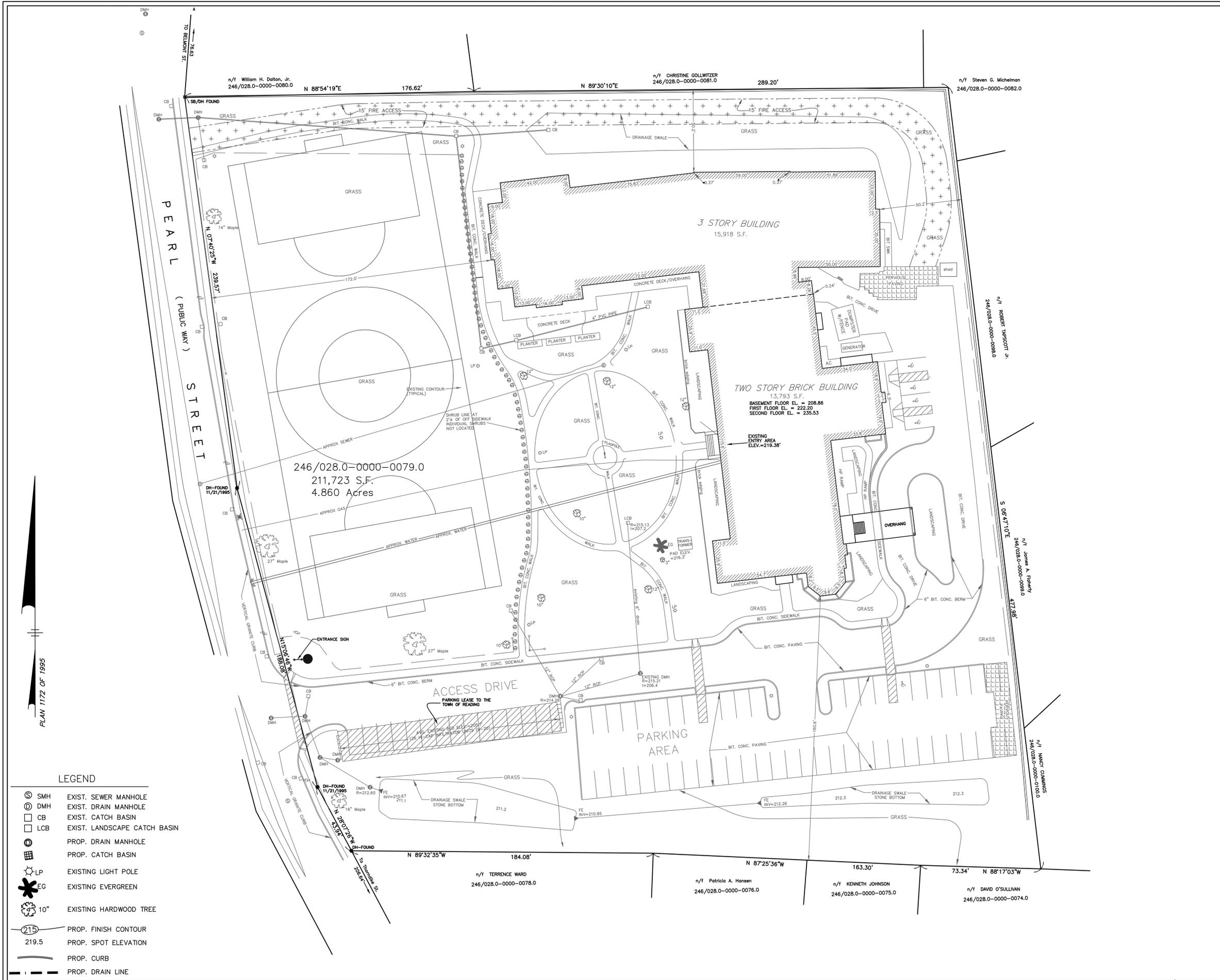
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JDB NO. A1403-03 DATE: MARCH 26, 2013

revision #	date	description
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2		
3		
4		



**PLAN SHOWING
 EXISTING SITE
 CONDITIONS**



n/f William H. Dalton, Jr. 246/028.0-0000-0080.0 N 88°54'19"E 176.62'
 n/f CHRISTINE GOLLWITZER 246/028.0-0000-0081.0 N 89°30'10"E 289.20'
 n/f Steven G. Michelman 246/028.0-0000-0082.0

246/028.0-0000-0079.0
 211,723 S.F.
 4.860 Acres

n/f ROBERT THASCOFF JR.
 246/028.0-0000-0098.0

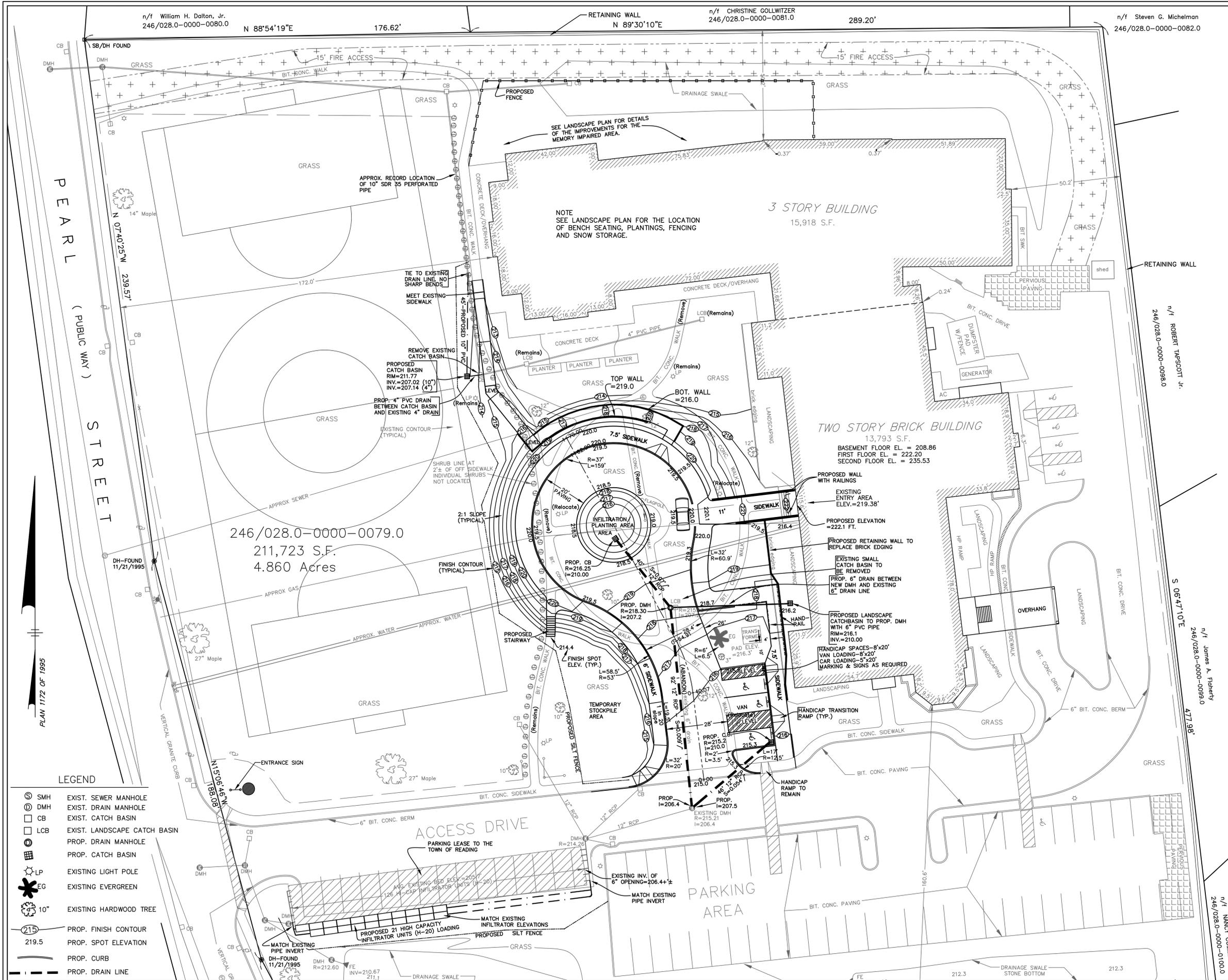
n/f James A. Roberts
 246/028.0-0000-0099.0

n/f LANCE CUMMINGS
 246/028.0-0000-0100.0

n/f TERENCE WARD 246/028.0-0000-0078.0 N 89°32'35"W 184.08'
 n/f Patricia A. Hansen 246/028.0-0000-0076.0 N 87°25'36"W 163.30'
 n/f KENNETH JOHNSON 246/028.0-0000-0075.0 163.30'
 n/f DAVID O'SULLIVAN 246/028.0-0000-0074.0 73.34' N 88°17'03"W

PLAN 1172 OF 1995

- LEGEND**
- ⊙ SMH EXIST. SEWER MANHOLE
 - ⊙ DMH EXIST. DRAIN MANHOLE
 - ⊙ CB EXIST. CATCH BASIN
 - ⊙ LCB EXIST. LANDSCAPE CATCH BASIN
 - ⊙ PROP. DRAIN MANHOLE
 - ⊙ PROP. CATCH BASIN
 - ⊙ LP EXISTING LIGHT POLE
 - ★ EG EXISTING EVERGREEN
 - ⊙ 10" EXISTING HARDWOOD TREE
 - ⊙ 215 PROP. FINISH CONTOUR
 - 219.5 PROP. SPOT ELEVATION
 - PROP. CURB
 - - - PROP. DRAIN LINE



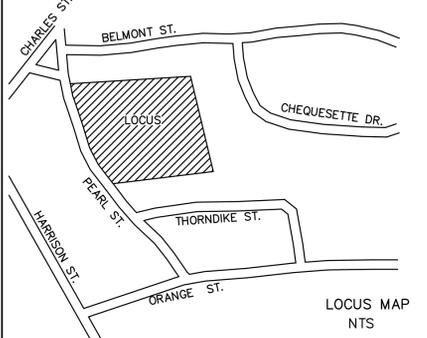
n/f William H. Dalton, Jr. 246/028.0-0000-0080.0 N 88°54'19"E 176.62'

n/f CHRISTINE GOLLWITZER 246/028.0-0000-0081.0 289.20'

n/f Steven G. Michelman 246/028.0-0000-0082.0

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RECORD PLAN: PLAN 1172 OF 1995
 RECORD DEED: BOOK 25914, PAGE 1



APPROVED BY THE TOWN OF READING COMMUNITY
 PLANNING AND DEVELOPMENT COMMISSION.

DATE / /

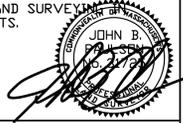
APPLICATION FILED: APPROVAL DATE:

HEARING DATE: DATE ENDORSED:

NOTES
 ELEVATIONS SHOWN ARE BASED ON TOWN
 OF READING SEWER DATUM.

246/028.0-0000-0098.0
 TYPICAL ASSESSOR'S REFERENCE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CON-
 FORMANCE WITH THE PROCEDURAL, TECHNICAL & ETHICAL
 STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN
 THE COMMONWEALTH OF MASSACHUSETTS.



**PLAN OF LAND AT
 LONGWOOD PLACE
 75 PEARL STREET
 IN
 READING, MA**

ASSESSORS M-B-L-246/028.0-0000-0079.0

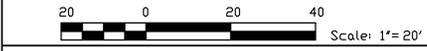
PROPERTY OWNER:
 READING SENIOR LIVING ASSOC. LIMITED PARTNERSHIP
 75 PEARL STREET
 READING, MA. 01867

ENGINEER
ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC.
 97 TENNEY STREET - GEORGETOWN, MA 01833
 PHONE: 978-352-7870 FAX: 978-352-9940

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JDB NO. A1403-03 DATE: MARCH 26, 2013

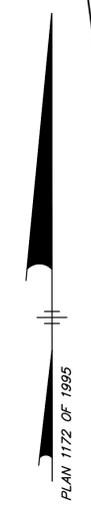
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**PLAN SHOWING
 PROPOSED SITE
 IMPROVEMENTS**

SHEET 2 OF 5

- LEGEND**
- SMH EXIST. SEWER MANHOLE
 - DMH EXIST. DRAIN MANHOLE
 - CB EXIST. CATCH BASIN
 - LCB EXIST. LANDSCAPE CATCH BASIN
 - PROG. DMH PROP. DRAIN MANHOLE
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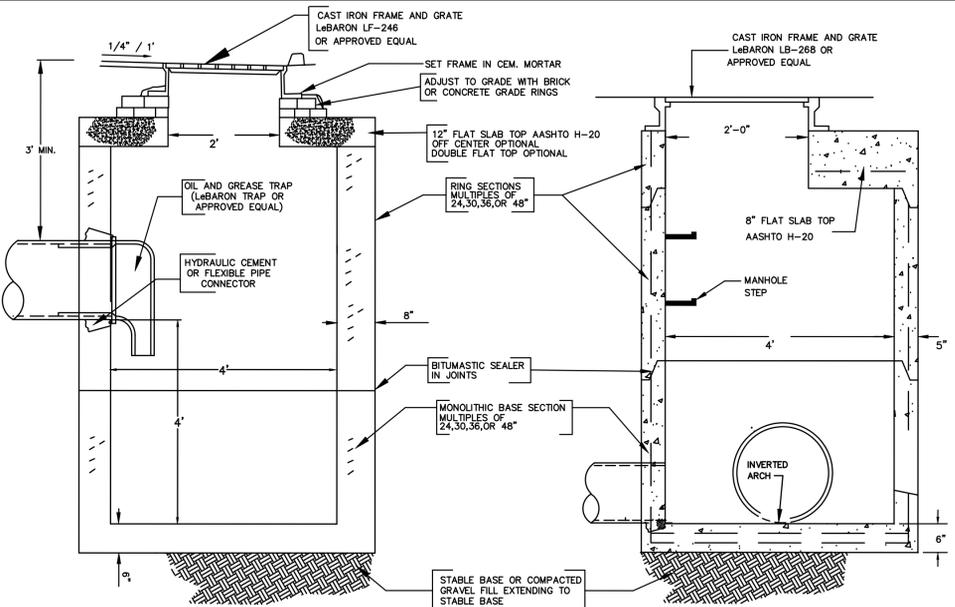
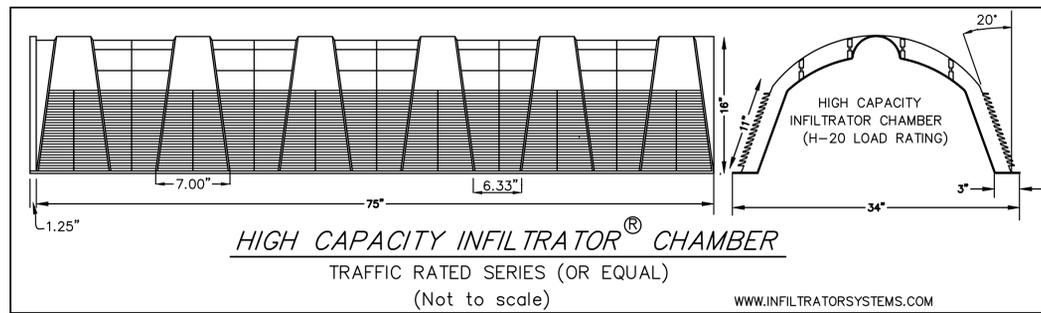
SITE PLAN NOTES

- THE LOCATIONS OF EXISTING AND SUSPECTED EXISTING UNDERGROUND UTILITIES ARE TAKEN FROM EXISTING AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE EXISTING UTILITY LINES OTHER THAN THOSE SHOWN. THE CONTRACTOR SHALL BE REQUIRED TO CONTACT THE PROPER UTILITY COMPANIES AND DIG-SAFE PRIOR TO BEGINNING ANY CONSTRUCTION ON THE SITE. ATLANTIC ENGINEERING DOES NOT WARRANT OR GUARANTEE THE LOCATION(S) OF ANY UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS AND GRADING ON THE SITE AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES OR DEVIATIONS FROM THE CONSTRUCTION PLANS TO THE ENGINEER. FAILURE TO DO THIS VERIFICATION IN A TIMELY MANNER MAY RESULT IN A DELAY IN THE NECESSARY CORRECTIVE ACTION. NO ADDITIONAL COMPENSATION (TIME OR MONETARY) SHALL BE CONSIDERED DUE TO DELAYS IN THE CONTRACTOR'S INSTALLATIONS AS A RESULT OF CONDITIONS WHICH WERE NOT IDENTIFIED BY THE CONTRACTOR ON TIME FOR CORRECTION BY THE CONSTRUCTION MANAGER OR THE ENGINEER.
- THE SITE SHALL BE GRADED AND COMPACTED TO THE ELEVATIONS AND CONTOURS SET FORTH IN THESE PLANS.
- UNLESS OTHERWISE SPECIFIED, ALL INSTALLATION, CONSTRUCTION AND CONSTRUCTION MATERIALS SHALL, IN ALL RESPECTS, CONFORM TO THE FOLLOWING:
 - MASSACHUSETTS STATE BUILDING CODE, (LATEST EDITION)
 - MASSACHUSETTS HIGHWAY DESIGN STANDARDS (LATEST EDITION)
 - AMERICANS WITH DISABILITIES ACT
 - TOWN OF READING STANDARDS, APPLICATION APPROVALS, AND CONSERVATION ORDERS OF CONDITIONS
 IN THE CASE OF CONFLICT BETWEEN CODES, STANDARDS, REGULATIONS, SPECIFICATIONS, PLAN NOTES AND/OR MANUFACTURER REQUIREMENTS, THE MOST STRINGENT STANDARD AND PROVISION IS TO BE USED, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- ALL CONSTRUCTION IS SUBJECT TO THE GRANTING OF ALL NECESSARY PERMITS BY THE TOWN OF READING. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL PERMITS ARE IN PLACE PRIOR TO BEGINNING ANY CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SURVEY LAYOUT OF ALL ITEMS REQUIRED TO COMPLETE THE SCOPE OF WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY CORRECTIVE ACTION REQUIRED FOR ITEMS NOT CONSTRUCTED WHERE PROPOSED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WORK PERFORMED OUTSIDE THE LIMIT OF WORK, AND IF NECESSARY SHALL, AT NO EXPENSE TO THE OWNER, CORRECT AND REMEDY ANY WORK DONE IN THESE AREAS. ANY QUESTIONS REGARDING THE LOCATION OF THE LIMIT OF WORK SHALL BE DIRECTED TO THE ENGINEER PRIOR TO PROCEEDING WITH ANY WORK ON THE SITE.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROPOSED UTILITY RELOCATIONS IN THE WORK AREA.
- THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN APPROPRIATE PARKING AND ACCESS TO THE EXISTING BUILDING, AS DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL NOT STORE ANY FUEL OR FUEL TANKS ON THE SITE.
- THE CONTRACTOR SHALL CALL DIG-SAFE A MINIMUM OF 72 HOURS, EXCLUSIVE OF SATURDAYS, SUNDAYS AND LEGAL HOLIDAYS, PRIOR TO BEGINNING ANY EXCAVATION AT THE SITE.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY CODES.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, STREETS, TREES, UTILITIES AND PLANTINGS ON OR OFF THE PREMISES, AND SHALL BE RESPONSIBLE, AT NO EXPENSE TO THE OWNER, TO REPAIR AND/OR REPLACE OR OTHERWISE MAKE GOOD AS DIRECTED BY THE OWNER ANY SUCH OR OTHER DAMAGE SO CAUSED.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL RUBBISH AND DEBRI DURING SITE CONSTRUCTION. STORAGE OF SUCH MATERIALS ON THE PROJECT SITE WILL NOT BE PERMITTED.
- THE CONTRACTOR SHALL GIVE A NOTICE TO THE PERTINENT MUNICIPAL DEPARTMENTS AS REQUIRED BY PERMITS AND PROJECT APPROVALS BEFORE COMMENCING WORK IN THE FIELD.
- THE PLANS AND SPECIFICATIONS FOR THIS SITE ARE INTENDED TO BE EXPLANATORY OF THE WORK TO BE DONE AND OF EACH OTHER, BUT SHOULD ANY OMISSION, ERRORS OR OTHER DISCREPANCIES APPEAR, THEY SHALL BE SUBJECT TO CORRECTION AND INTERPRETATION BY ATLANTIC ENGINEERING THEREBY FULFILLING THE INTENT OF THE PLANS.
- THIS SITE IS SERVICED BY SUBSURFACE SEWAGE DISPOSAL SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL SYSTEM COMPONENTS DURING CONSTRUCTION, AND IF SYSTEM COMPONENTS ARE DISTURBED OR BROKEN BY THE CONTRACTOR OR ANY OF THE CONTRACTOR'S SUBCONTRACTORS, THE CONTRACTOR SHALL, AT NO EXPENSE TO THE OWNER, REPAIR OR REPLACE THE DISTURBED OR BROKEN COMPONENTS.
- GAS, TELEPHONE, CABLE AND ELECTRIC UTILITIES SHALL BE INSTALLED AT THE DIRECTION OF THE RESPECTIVE UTILITY AND TO THE STANDARDS REQUIRED BY THOSE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO INCORPORATE THE COST AND SCHEDULING OF THESE ITEMS IN THEIR SCOPE OF SERVICES.
- ALL CATCHBASINS AND MANHOLES SHALL BE PROTECTED WITH HAYBALES TO PREVENT SILTATION INTO DRAIN LINES DURING CONSTRUCTION. UPON REMOVAL OF THIS PROTECTION THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL THESE STRUCTURES AND LINES ARE FREE OF SILTATION AND OTHER DEBRI AND AT NO ADDITIONAL EXPENSE TO THE OWNER CLEAN ALL SUCH STRUCTURES AND LINES.
- ALL PROPOSED WATER MAINS SHALL BE 8" DI.C.L., (CL150) UNLESS OTHERWISE NOTED. ALL EXISTING WATER MAINS TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR. IF BROKEN OR DAMAGED THE CONTRACTOR, AT NO EXPENSE TO THE OWNER, SHALL REPLACE OR REPAIR SAID LINES WITH EQUAL SIZED DI.C.L. PIPE.
- THE EXISTING CONDITIONS SHOWN ON THESE PLANS ARE TO BE CONSIDERED APPROXIMATE. THE EXISTING PLAN INFORMATION SHOWN SHALL BE USED FOR REFERENCE ONLY TO AID THE CONTRACTOR IN DETERMINING THE OVERALL EXISTING SITE CONDITIONS AND THE EXISTING SITE FEATURES WHICH WILL NEED TO BE DEMOLISHED OR CHANGED AS PART OF THE SITE IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL INFORMATION. THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY ADDITIONAL COST INCURRED BY THE CONTRACTOR FOR CURRENT EXISTING CONDITIONS WHICH WERE NOT VERIFIED.
- ALL EXISTING DRAINAGE STRUCTURES TO BE REMOVED SHALL BE REMOVED FROM THE PROJECT SITE AND BE DISPOSED OF IN AN APPROVED MANNER AND LOCATION OFF SITE.
- ALL FILL MATERIAL SHALL BE REMOVED FROM UNDERNEATH ALL INFILTRATING STRUCTURES DOWN TO CLEAN PERVIOUS IN-SITU SOIL. ALL OVERDIG SHALL BE REPLACED BY CLEAN COMPACTED COARSE SAND.

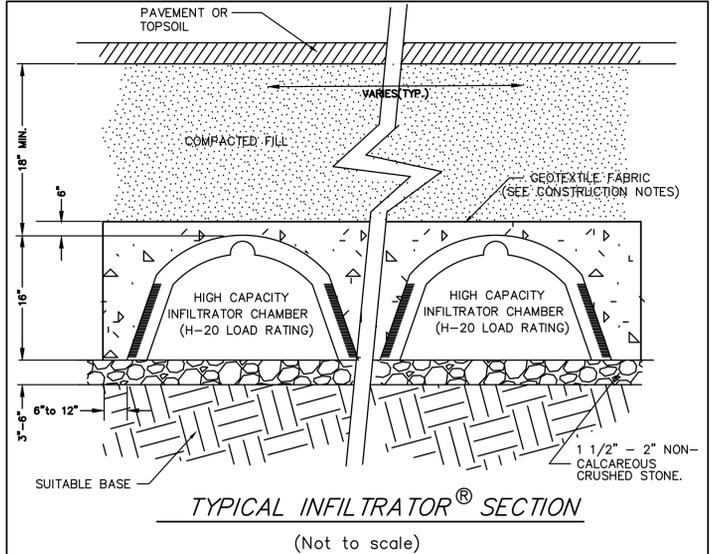
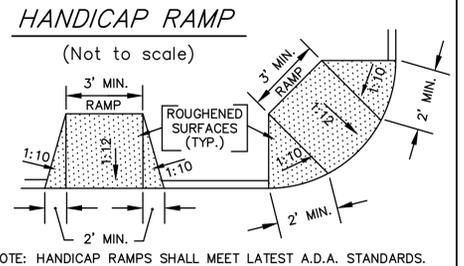
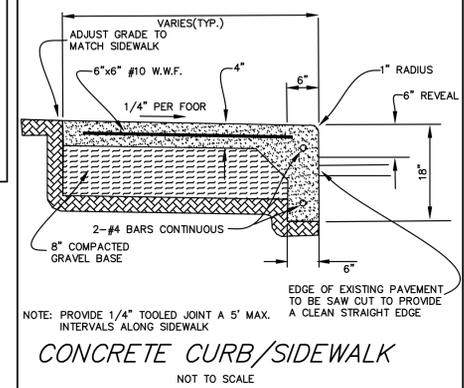
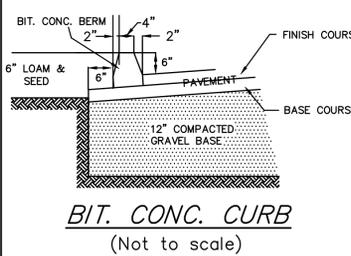
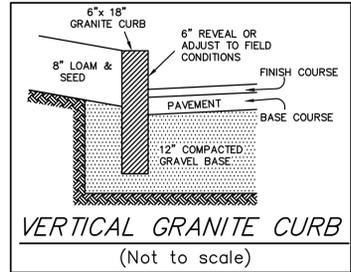
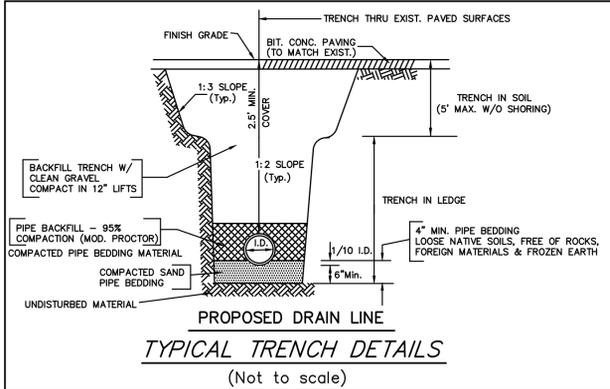
INFILTRATOR CONSTRUCTION NOTES:

- EXCAVATE AND LEVEL DESIGNATED AREA. BE SURE TO EXCAVATE BEYOND THE PLANNED PERIMETER OF THE BED TO ALLOW FOR PROPER FIT AND ADEQUATE COMPACTION.
- IF IN LOOSE SANDY SOILS, FLOOD THE EXCAVATED AREA.
- COMPACT THE BASE TO STATE DEPARTMENT OF TRANSPORTATION STANDARDS OR 95% OF MAXIMUM ATTAINABLE DENSITY, WHICHEVER IS GREATER.
- PLACE GEOTEXTILE FABRIC SUCH AS AMOCO 45/53, MIRAFI 140-N, OR EQUIVALENT AS SHOWN ON THE DETAILS.
- LAY 1 1/2" - 2" DIAMETER CRUSHED STONE OR 2 - 2 1/2" DIAMETER ROUNDED GRAVEL TO A DEPTH OF 3 - 6" AS PER PLAN DETAIL. CRUSHED OR RECYCLED CONCRETE IS NOT RECOMMENDED. USE WILL VIOLATE WARRANTY.
- COMPACT THE STONE WITH VIBRATORY ROLLER OR PLATE COMPACTOR, TO ENSURE MAX. STONE COMPACTION, COMPACT TWICE, THE SECOND PASS BEING PERP. TO THE FIRST.
- CUT HOLE IN CLOSED END PLATE FOR APPROPRIATELY-SIZED DISTRIBUTION PIPE.
- SCREW END PLATE INTO "INLET END" (WITHOUT INTERLOCKS) OF FIRST CHAMBER.
 - END PLATES ARE REQUIRED ONLY AT BEGINNING AND END OF EACH ROW.
 - END PLATES ARE REVERSIBLE TO FIT EITHER END OF CHAMBER. (UPPER STEPS FIT INTO "INLET END" AND LOWER STEP IN DOWNSTREAM END (WITH INTERLOCKS)).
 - A CORDLESS DRILL AND SELF-DRILLING SCREWS WORK WELL FOR ALL CONNECTIONS.
 - USE THE FOUR STARTER HOLES AROUND PERIMETER OF FLANGE.
- PLACE FIRST INFILTRATOR CHAMBER IN THE "INLET END" OF EXCAVATION WITH INTERLOCKS. DOWNSTREAM PLACE ROWS OF CHAMBERS NEXT TO EACH OTHER AS SHOWN ON SITE PLAN. FIT DESIRED BED AREA AS SHOWN ON SITE PLAN. DO NOT OVERLAP THE FEET OF THE CHAMBER ONTO ADJACENT CHAMBERS.
- PLACE CATCH BASIN AND OTHER SEDIMENTATION STRUCTURES AS REQUIRED.
 - RUN DISTRIBUTION PIPE TO ROWS OF CHAMBERS AS PER DESIGN REQUIREMENTS.
 - RUN DISTRIBUTION PIPE THROUGH INLET OPENING IN ENDPLATE.
 - PIPE DOES NOT RUN THE LENGTH OF THE SYSTEM.
 - PROVISIONS MUST BE MADE TO AVOID SEDIMENTATION FLOW INTO SYSTEM. INSERTING A 90° ELBOW INTO OUTLET PIPE IN CATCH BASIN IS AN EFFICIENT METHOD.
- FIT CHAMBERS TOGETHER, FULLY ENGAGING INTERLOCKS TO FIT DESIRED BED AREA. INTERLOCK CHAMBERS BY HOLDING AT 45° ANGLE. PLACE INLET END ON END OF PREVIOUS CHAMBER. LOWER CHAMBER FULLY INTERLOCKING UNITS.
 - TO KEEP JOINTS FROM DISENGAGING DURING CONSTRUCTION, JOINTS MUST BE SCREWED TOGETHER AT THE TWO TOP LOCATIONS, SIMILAR TO END PLATES.
- FILL AREA TO A MINIMUM OF 6" OVER TOP OF CHAMBERS WITH STONE AS PER PLAN. FOR A LARGE BED THAT CANNOT BE FILLED FROM THE SIDES, USE A LIGHT TRACKED VEHICLE SUCH AS A GATERRILLAR D-3. (TRACKED VEHICLE SIZE MUST NOT EXCEED D-5. GROUND PRESSURE OF TRACK NOT TO EXCEED 1,100 LBS. PER FT²). BE SURE TO MAINTAIN 6" MINIMUM OF COMPACTED COVER BENEATH TRACKS AT ALL TIMES.

- COMPACT STONE WITH WALK-BEHIND PLATE COMPACTOR OR VIBRATORY ROLLER, NOT TO EXCEED DYNAMIC FORCE OF 10,000 POUNDS.
- COVER ENTIRE INSTALLATION AREA WITH GEOTEXTILE FABRIC BY LAYING IT ONTO AREA, MAKING SURE THAT IT OVERLAPS ONTO ITSELF BY 2 FEET.
- BACKFILL IN 6" LIFTS OVER TOP OF CHAMBERS WITH WELL-GRADED SOIL. AVOID LARGE ROCKS AND ORGANIC MATTER SUCH AS ROOTS, STUMPS ETC. IN THE BACKFILL MATERIAL. A WELL GRADED SOIL CONTAINS AN EVEN DISTRIBUTION OF APPROXIMATELY 10% FINES, RANGING FROM SILT THRU SAND TO GRAVEL. TOTAL COVER IS MINIMUM 18".
- CONTINUE TO BACKFILL IN 6" LIFTS TO A MINIMUM OF 18" OF COVER OVER TOP OF CHAMBERS BE SURE TO COMPACT LIFTS AS DESCRIBED ABOVE IN STEP 16.
 - ROPE OFF AREA TO AVOID CONSTRUCTION TRAFFIC ON SYSTEM BEFORE COMPLETION.
 - INLET CATCH BASINS SHOULD BE COVERED DURING CONSTRUCTION TO PREVENT SILT INTRUSION INTO THE SYSTEM.
- CONTRACTOR MUST NOTIFY INFILTRATOR SYSTEMS, INC. PERSONNEL PRIOR TO CONSTRUCTION (ENGINEERING DEPT. 1-800-221-4436)



- MATERIALS:**
CONCRETE STRENGTH: 4000 PSI AT 28 DAYS
- SPECIFICATIONS:**
- DESIGN SPECS. SHALL CONFORM TO ASTM C 478
 - REINFORCING STEEL CONFORMS TO LATEST ASTM A185.
 - CONCRETE COMPRESSIVE STRENGTH - 4000 PSI @ 28 DAYS.
 - ONE POUR MONOLITHIC BASE.
 - STEPS - STEEL REINFORCING COPOLYMER POLYPROPYLENE PLASTIC (P52-PFSL M.A. INDUSTRIES, INC.) CONFORMS TO ASTM C478 PARA - 12.
 - BITUMASTIC BUTYL RUBBER JOINTS CONFORM TO LATEST ASTM C443 AND FED SS-SS-210A SPECIFICATION.
 - KOR-N-SEAL FLEXIBLE PIPE CONNECTORS FROM 3.5" TO 21.25" O.D. ASTM C923, A167.



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RECORD PLAN: PLAN 1172 OF 1995
RECORD DEED: BOOK 25914, PAGE 1

LOCUS MAP
NTS

APPROVED BY THE TOWN OF READING COMMUNITY PLANNING AND DEVELOPMENT COMMISSION.

DATE / /

APPLICATION FILED: _____ APPROVAL DATE: _____

HEARING DATE: _____ DATE ENDORSED: _____

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE PROCEDURAL, TECHNICAL & ETHICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



**PLAN OF LAND AT
LONGWOOD PLACE
75 PEARL STREET
IN
READING, MA**

ASSESSORS M-B-L-246/028.0-0000-0079.0

PROPERTY OWNER:
READING SENIOR LIVING ASSOC. LIMITED PARTNERSHIP
75 PEARL STREET
READING, MA. 01867

ENGINEER
ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC.
97 TENNEY STREET - GEORGETOWN, MA 01833
PHONE: 978-352-7870 FAX: 978-352-9940

DRAWING FILE: \SEQ92\75Pearl-SITEPLAN-2014R2.dwg

JOB NO. A1403-03 DATE: MARCH 26, 2013

revision #	date	description
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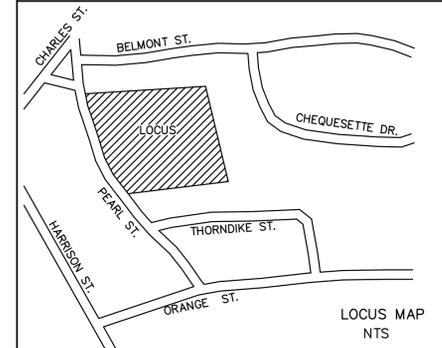
AS INDICATED

**PLAN SHOWING
PROPOSED SITE
DETAILS**

SHEET 3 OF 5

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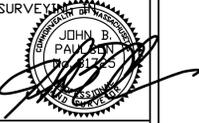
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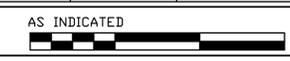
PROPERTY OWNER:
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 75 PEARL STREET
 READING, MA. 01867

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 97 TENNEY STREET - GEORGETOWN, MA 01833
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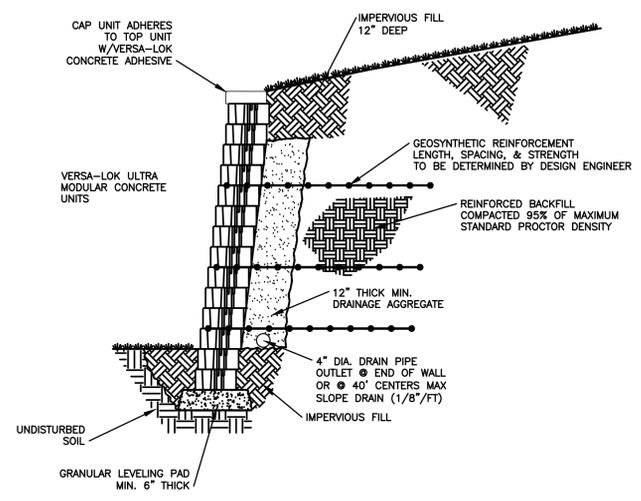
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JDB NO. A1403-03 DATE: MARCH 26, 2013

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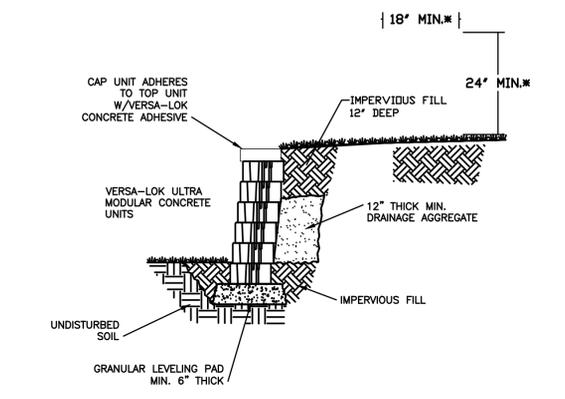
**PLAN SHOWING
 PROPOSED SITE
 DETAILS**



TYPICAL SECTION - REINFORCED RETAINING WALL
 SCALE: 1/2"=1'

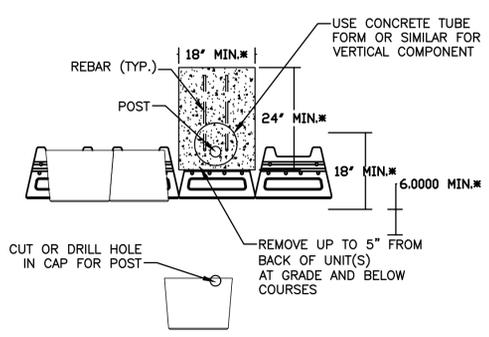
ALTERNATE WALL MANUFACTURERS AND DESIGN CONFIGURATIONS MAY BE
 SUBSTITUTED WITH THE APPROVAL OF ATLANTIC ENGINEERING

UNREINFORCED WALLS MAY BE USED FOR WALL THAT ARE 3 FEET AND UNDER



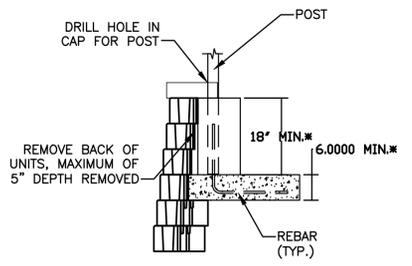
TYPICAL SECTION - UNREINFORCED RETAINING WALL
 SCALE: 1/2"=1'

VERSALOK®
 Retaining Wall Systems
 Solid Solutions™
 (800)770-4525 fax(651)770-4089
 6348 Hwy36 Ste1, Oakdale, MN 55128

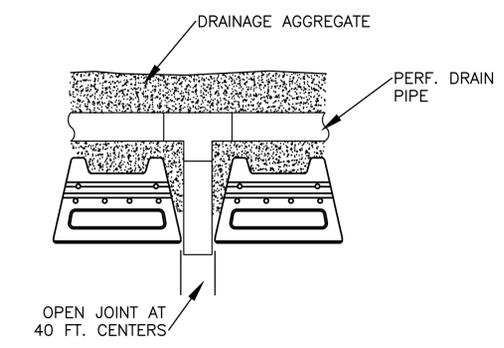


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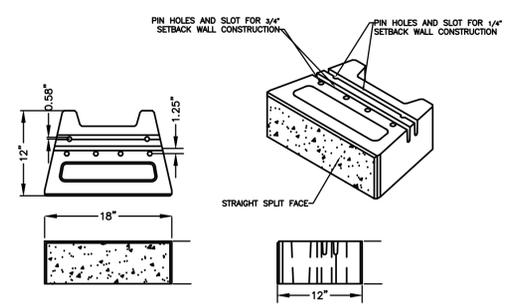
WALL WITH HANDRAIL



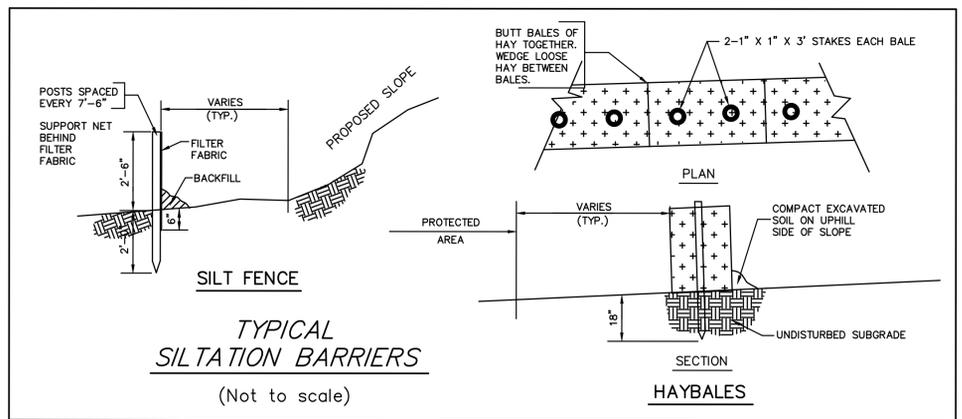
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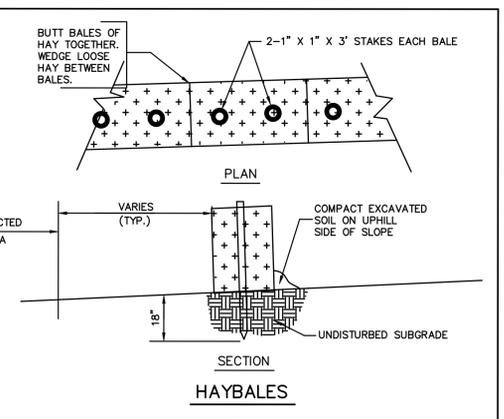
DRAIN DETAIL
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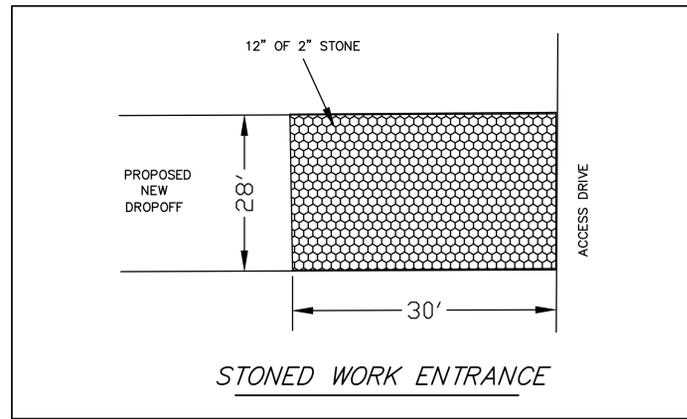
VERSALOK ULTRA UNIT
 SCALE: 1"=1'



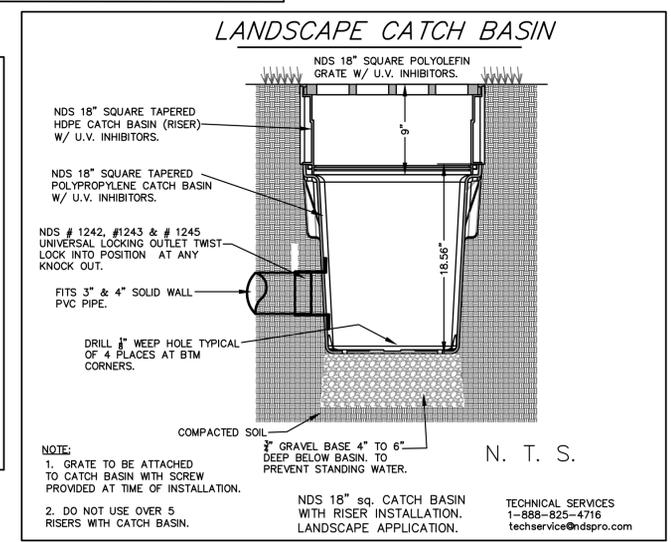
TYPICAL SILTATION BARRIERS
 (Not to scale)



HAYBALES



STONED WORK ENTRANCE

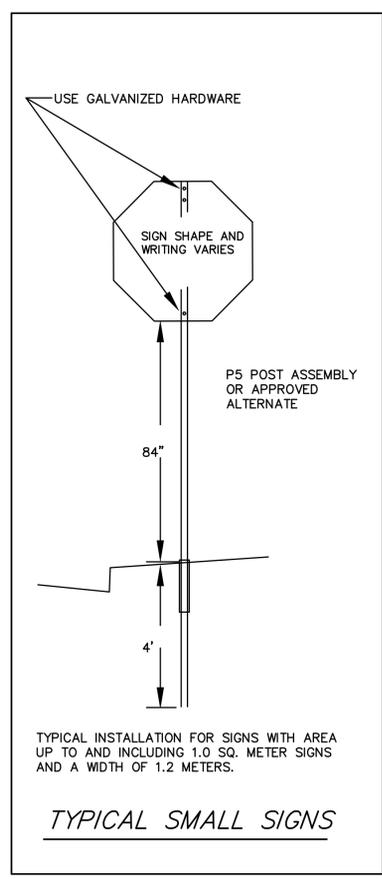


NOTE:
 1. GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.
 2. DO NOT USE OVER 5 RISERS WITH CATCH BASIN.

7\"/>

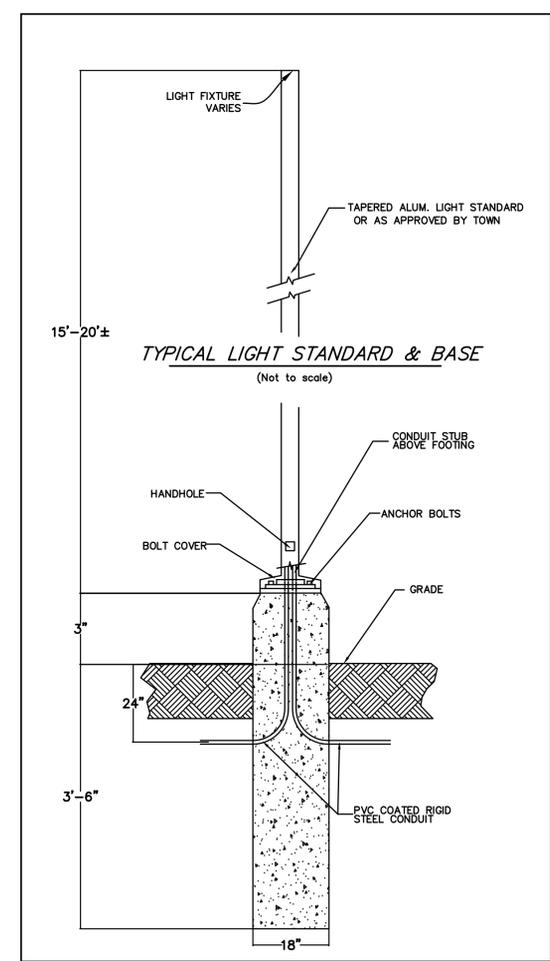
N. T. S.

TECHNICAL SERVICES
 1-888-825-4716
 techservice@ndspro.com



TYPICAL INSTALLATION FOR SIGNS WITH AREA UP TO AND INCLUDING 1.0 SQ. METER SIGNS AND A WIDTH OF 1.2 METERS.

TYPICAL SMALL SIGNS



TYPICAL LIGHT STANDARD & BASE
 (Not to scale)

BEST MANAGEMENT PRACTICES (BMP'S) FOR EROSION AND SEDIMENTATION CONTROL

GENERAL
The BMP's to be used during project construction are to prevent the generation of erosion products and their transport to environmentally and off-site sensitive areas. Environmentally and off-site sensitive areas include all designated resource areas, those areas of the site that do not need to be altered for development purposes, the designated perimeter buffer zones and all off-site abutting properties and roadways.

The primary BMP is to maintain an organized, smooth flowing and rapid Construction Sequence as outlined. Coupled with the continuous monitoring of TEC devices and their integrity, this rapid construction process should result in prompt stabilization of surfaces thereby reducing erosion potential. The Contractor is responsible to maintain the Construction Sequence subject to seasonal, atmospheric and site specific physical constraints.

A second important BMP is the prevention of concentrated water flow. Sheet flow does not demonstrate the erosive potential of concentrated channels. The Contractor is therefore encouraged to apply construction methods which will promote sheet flow with concentrated shallow channel flow paths only as necessary.

The Contractor shall be solely responsible for erosion and sedimentation control on site. The Contractor shall use a method of operation and construction and all necessary erosion and sedimentation control measures even if not specified herein or on the plans, to minimize erosion damage on and off site. The BMP's to follow should be used as a guide for erosion and sedimentation control and do not replace the practice of good judgement, common sense and thoughtful environmentally sensitive construction practices.

BMP'S DURING CONSTRUCTION

CUTTING AND CLEARING
Vehicles used in the wood clearing process shall not travel through running water. As the clearing process continues, the movement of vehicles shall be limited, as much as possible, to the area of development.
Trees shall be felled directly down or up slope to prevent the diversion and concentration of storm water runoff around the trunks.
Wheel ruts shall be filled in and graded to prevent concentration of storm water runoff. Vehicle tracks leading downhill shall be blocked during periods of intense precipitation by haybales, dikes or silt fences which shall be constructed to entrap the sediment.
All timber and cord wood shall be used for its value; consideration shall be given to chipping of brush and branches that generate wood chip mulch for the use in stabilization of disturbed surfaces. No spoil (e.g., tree stumps) shall be disposed of by burying.

GRUBBING, STRIPPING AND GRADING
Erosion control devices shall be in place as shown on the design plans before grading commences. As much topsoil as possible shall be reclaimed for on-site use.
No topsoil shall leave the site without permission of local authorities.
Stripping shall be done in a manner which will not concentrate runoff. If precipitation is expected, earthen berms shall be constructed around the area being stripped, with a silt fence or haybale dike located in an arc at the low point of the berm.
If intense precipitation is anticipated, haybales, dikes and/or silt fences shall be used as required to prevent erosion and sediment transport. The materials required shall be stored on site at all times. If water is required for soils compaction, it shall be added in a uniform manner that does not allow excess water to flow off the area being compacted.
Dust should be held at a minimum by sprinkling exposed soil with an appropriate amount of water.

MAINTENANCE OF DISTURBED SURFACES
Runoff shall be diverted from disturbed side slopes in both cut and fill.
Mulching may be used for temporary stabilization.
Haybale dikes or silt fences shall be set where required to trap products of erosion and shall be maintained on a continuing basis during the construction process.

LOAMING
Loaming and seeding of slopes shall be an ongoing construction process and is not limited to any one phase of construction.
Loam shall not be placed unless it is to be seeded directly thereafter.
All disturbed areas shall have a minimum of 4" of loam placed before being seeded and mulched. Consideration shall be given to hydro-mulching, especially on slopes in excess of 3 to 1.
Loamed and seeded slopes shall be protected from washout by mulching or other acceptable slope protection until vegetation beings to grow.

STORM WATER COLLECTION SYSTEM INSTALLATION
The catchbasins to be used temporarily as sedimentation basins shall be cleaned thoroughly prior to permanent stabilization of all interior slopes.
The storm water drainage system shall be installed in a manner which will not allow run-off from disturbed areas to enter pipes.
Outlet rip-rap shall be placed immediately upon the installation of the associated pipe. Areas in the vicinity of outlets shall be stabilized with vegetation.
Excavations for the drainage system shall not be left open when rainfall is expected overnight. If left open under other circumstances, pipe ends should be closed by a staked board or by an equivalent method.
All catch basin openings shall be covered by filter fabric placed between the grate and the frame and protected from heavy sediment by staked haybales surrounding the catch basin grate.

COMPLETION OF PAVED AREAS
During the placement of subbase and pavement, the entrances to the storm water drainage system shall be sealed if rain is expected. When these entrances are closed, consideration must be given to the direction of runoff and measures shall be undertaken to minimize erosion and to provide for the collection of sediment.
In some situations it may be necessary to keep catch basins open. Appropriate arrangements shall be made downstream to remove all sediment deposition.

STABILIZATION OF SURFACES
Stabilization of surfaces shall be an ongoing process.
Stabilization of surfaces includes the placement of pavement, rip rap, wood bark mulch and the establishment of vegetated surfaces.
Upon the completion of construction, all surfaces shall be stabilized even though it is apparent that future construction efforts will cause their disturbance.
Vegetated cover shall be established during the proper growing season and should be enhanced by soils adjustment for proper pH, nutrients and moisture content.
Surfaces that are disturbed by erosion processes, vandalism or by construction shall be stabilized as soon as possible.
Hydro-mulching of grass surfaces is recommended, especially if seeding of the surfaces is required outside the normal growing season.
Hay mulch, if used, must be properly secured.

BMP'S POST-CONSTRUCTION

STORM WATER DETENTION AREA
Any accumulation of the products of erosion which have collected in the basin and forebay after construction is complete and basin side slopes are fully stabilized shall be removed.

DRAINAGE SWALES
After construction is complete and all slopes are stabilized by the full establishment of vegetative cover, all swales are to be periodically inspected and any accumulation of sedimentation is to be removed.

SUGGESTED SEEDING MIXTURE AND APPLICATION RATE
The seed bed should be prepared by conducting a soils test and fertilizing as required. When a soils test is not available, the following minimum amount should be applied:

- Limestone 2 tons per acre.
- Nitrogen (N) 40 lb. per acre or 1 lb. per 1000 square feet.
- Phosphate (P2O5) 80 lb. per acre or 2 lb. per 1000 square feet.
- Pot Ash (K2O) 80 lb. per acre or 2 lb. per 1000 square feet.

The following seed mix (State Slope Mix) shall be applied at the rate of 200 lb. per acre:

- 50% Creeping Red Fescue
- 30% Kentucky Tall Fescue
- 10% Annual Rye
- 5% Red Top
- 5% Lindino Clover

SITE MANAGEMENT NOTES

Seed should be spread uniformly by the method most appropriate for the site. Methods include broadcasting, drilling and hydro-seeding. Hydro-seeding is the preferred method of seeding. The soil should be rolled or poked after seeding if possible. All legumes (Crown Vetch, Birdsfoot Trefoil and Clovers) must be inoculated.
Once seeded areas have been mulched, plantings may be placed from early spring to late October. If seeded areas are not mulched, planting should be made from early spring to June 20th or between August 1st and September 15th. Plantings made after mid-November must be mulched. If required, hay, straw or other mulch should be applied immediately after seeding. For hydro-seeding, a heavy mulch tackifier at the rate of 1500 lb. per acre shall be applied.
Planted areas should be protected from damage. Fertilization requirements during the establishment period may be determined by on-site inspections.

CONSTRUCTION SITE MANAGEMENT

GENERAL
In addition to the storm water management and erosion control methods discussed above, responsible construction site management is required to minimize the transport of sediment and non-sediment related pollutants from entering storm water runoff.

EQUIPMENT AND VEHICLE MANAGEMENT

MAINTENANCE

Specific areas shall be designated for equipment and vehicle maintenance and repair. Maintenance areas shall include appropriate waste receptacles for spent gasoline, oil, grease, and solvents.

WASHDOWN

Specific areas shall be designated for equipment and vehicle washdown. Washdown areas shall be located on sections of the site that drain to regularly maintained sediment and non-sediment pollution control devices designed to accommodate such discharges.

DUST AND MUD CONTROL

The contractor shall provide positive controls to minimize raising dust from construction activities on this site. All dust and mud control measures shall be as approved by the Town.

The contractor shall provide daily positive controls to prevent mud and dirt from leaving the site on equipment tires. The stone construction apron shall be used by all vehicles and shall be maintained or replaced in kind to prevent mud accumulation off the site.

MATERIAL STORAGE AND USE

PESTICIDES

Pesticides shall be stored in a dry area that is protected from precipitation. Pesticides shall be handled as infrequently as possible. The manufacturers' recommendations as well as all applicable local, State, and federal regulations shall be strictly followed when pesticides are handled.

FERTILIZERS

Application of fertilizer shall be limited to minimum required area and amount. More frequent, lower applications are preferable to infrequent high application rates. After application, fertilizer shall be worked into the soil where feasible.

PETROLEUM PRODUCTS

Fueling vehicles and petroleum products including oil, gasoline, lubricants, and asphaltic materials shall be stored in covered areas where feasible. Routinely maintain on-site equipment and vehicles to prevent leakage of gas, oil or lubricants.

HAZARDOUS MATERIALS

Hazardous materials include but are not limited to paints, acids, solvents, soil stabilization chemicals, concrete admixtures and other materials that have been mixed with hazardous substances. All hazardous materials shall be stored in a dry area protected from precipitation. The manufacturers' recommendations as well as all applicable local, State, and federal regulations shall be strictly followed when hazardous materials are handled, transported, applied, or disposed of.

RAW MATERIALS

Storage areas for raw materials used in construction that can be carried by storm water runoff shall be located only in areas which drain to retention-type sedimentation control devices.

WASTE DISPOSAL

CONSTRUCTION WASTE

Construction waste may include but is not limited to trees, stumps, shrubs, scrap or surplus building materials, demolition material, and packaging material.
Designated waste collection areas shall be established at locations convenient to site workers. Receptacles shall be of adequate capacity to hold waste accumulated between collection times. Receptacles shall be covered or otherwise protected from precipitation.

WASTE CONCRETE

Excess concrete and washwater from concrete trucks shall be disposed of in a manner that prevents contact between these materials and storm water that shall be used to contain waste concrete and washwater until it hardens and can be properly disposed of.

SANITARY FACILITIES

Temporary sanitary facilities shall be provided on-site in convenient locations to site workers. Sanitary facilities shall be adequately maintained to prevent contact between associated wastes and storm water runoff.

POST-CONSTRUCTION

Operation\Maintenance Plan

MAINTENANCE OF ALL PARKING LOTS AND ON-SITE DRAINAGE SYSTEMS AT THE FACILITY SHALL BE THE RESPONSIBILITY OF PROPERTY OWNER. THE IMPLEMENTATION OF THE FOLLOWING MAINTENANCE PROGRAM IS INTENDED TO ADEQUATELY MANAGE SEDIMENT INFILTRATION TO THE STORM WATER DRAINAGE SYSTEM. HOWEVER, IT IS UNDERSTOOD THAT THE LOCAL APPROVING AUTHORITY RESERVES THE RIGHT TO CONSIDER SITE CONDITIONS AND USES ON AN INDIVIDUAL BASIS FOR UNIQUE CIRCUMSTANCES THAT MAY REQUIRE ADDITIONAL PROTECTIONS.

1. ALL PARKING LOTS AND ACCESS ROADS SHALL BE SWEEPED YEARLY, BETWEEN APRIL 15TH AND MAY 30TH. ALL SAND AND DEBRIS SHALL BE PROPERLY DISPOSED.
2. IN THE EVENT THAT ANY PARKING OR ACCESS AREA AT THE FACILITY EXPERIENCES A CHEMICAL RELEASE EQUAL TO OR GREATER THAN FIVE GALLONS, THE PROPERTY OWNER SHALL IMMEDIATELY REMEDIATE THE SPILL, AND NOTIFY THE LOCAL BOARD OF HEALTH.
3. THE ON-SITE DRAINAGE SYSTEMS CONSISTING OF ALL CATCH BASINS AND STORM WATER DRAINAGE STRUCTURES AT THE FACILITY SHALL BE INSPECTED, AT MINIMUM, 2 TIMES PER YEAR, AND CLEANED AND MAINTAINED AS NEEDED, BUT NOT LESS FREQUENTLY THAN TWO TIMES PER YEAR.
4. PRIOR TO CLEANING CATCH BASINS, SAME SHALL BE INSPECTED FOR THE PRESENCE OF HYDROCARBONS AND ANY FOUND TO BE PRESENT SHALL BE REMOVED BY A LICENSED CONTRACTOR.
5. CLEANING OF CATCH BASINS SHALL INCLUDE THE REMOVAL, AND PROPER DISPOSAL, OF ALL SAND AND DEBRIS FROM THE SUMPS.

CONSTRUCTION SEQUENCE

GENERAL
This construction sequence provides the Contractor with an order of construction that will minimize erosion and the transport of sediments. The individual objectives of the construction process described herein shall be considered an integral component of the project design intent for each project phase. The construction sequence is not intended to prescribe definitive construction methods and shall not be interpreted as a construction specification document. The contractor shall use the construction sequence and techniques as a general guide and shall modify the suggested methods and procedures as required to best suit seasonal, atmospheric, and site specific physical constraints for the purpose of minimizing the environmental impact of construction.

SITE ACCESS

Construction site access will be confined to proposed roadway entrances at the Access Way. The contractor shall install a 28' x 30' stone (2" to 3") construction apron at the Construction Site entrance.

INSTALLATION OF TEMPORARY EROSION CONTROL (TEC) DEVICES

Install TEC devices as shown on the plans and/or as otherwise required or deemed necessary by the Engineer and/or Municipal Inspector. If necessary, selectively cut and clear an area for the TEC devices. In general, use of existing trees to back haybales and silt fence is encouraged.

CUTTING AND CLEARING

Clear and cut only trees that are within the limits of the construction of project side slopes, drainage and paved areas. Logged timber shall be removed from the site. Tree bases and slash shall be ground and chipped and stockpiled on site for use as temporary erosion control as well as for mulch to stabilize slopes and other exposed areas. No tree bases shall be buried on site. All remaining tree bases and slash shall be removed from the site. All exposed surfaces that will not be under immediate construction shall be stabilized.

GRUBBING AND STRIPING

Inspect positioning and condition of TEC devices to assure integrity and purpose. Adjust and supplement TEC devices as necessary to assure prevention of sediment transport. Remove balance of slash and stumps from site. Consideration should be given to additional grinding and chipping for creation of mulch and chips for slope stabilization. Remove all brush, scrub and roots. Remove same from site. Remove and stockpile all topsoil upslope of TEC. Provide a solid secure ring of haybales around the lower portion and sides of the stockpile leaving the upper side open to work from. Stabilize all exposed surfaces that will not be under immediate construction.

PROJECT ROUGH GRADING

Inspect positioning and condition of TEC devices to assure integrity and purpose. Adjust and supplement TEC devices as necessary to assure prevention of sediment transport. Perform cut and fill earthwork for project construction to rough subgrade. Remove all excess and unusable material from the site as soon as practicable. Stockpile excess material to be used in the course of construction upslope of the TEC. Stockpile imported material to be used in fill operations. Provide a solid secure ring of haybales around the lower portion and sides of the stockpile leaving the upper side open to work from. Stabilize all exposed surfaces that will not be under immediate construction. Dress paved areas to finished level subgrade. Install stone subbase in compacted lifts. Apply water as necessary to achieve proper compaction and to control air suspension of dust.

UTILITY INSTALLATION

Inspect positioning and condition of TEC devices to assure integrity and purpose. Adjust and supplement TEC devices as necessary to assure prevention of sediment transport. Install waterlines and other water appurtenances. Complete the installation of the drainage system. Install manhole and catch basin frames, covers and grates per plan. The catch basins should be set with a temporary grate setting at a grade that will allow them to receive ponded run-off. Install temporary erosion berm and sediment receiving area around the catch basins as shown on the plans.

PAVEMENT BASE COURSE CONSTRUCTION

Fine grade and compact stone subbase to design grades. Install pavement base course. Upon completion of base course, restore hay bale rings around catch basins receiving run-off. Maintain same.

CURB AND SIDEWALK CONSTRUCTION

Install bit. conc. berm as shown on plan. Install curb cuts for drive way and handicap ramp. Prepare finished subgrade and gravel subbase and install pavement for sidewalks.

FINISHED SLOPE CONSTRUCTION, FINISHED GRADING, SLOPE STABILIZATION, TOPSOIL AND SEEDING

Inspect positioning and condition of TEC devices to assure integrity and purpose. Adjust and supplement TEC devices as necessary to assure prevention of sediment transport. Complete all finished grading and slope construction including all grass and rip-rap slopes. Apply loam and seed and stabilize all exposed surface areas and slopes.

DRAINAGE SYSTEM

Install remainder of drainage system making final adjustments as necessary for all manhole and catch basin frames, lids and grates. Clean and remove any sediment from all catch basins and drain manholes. Install all hoods and grease traps in catch basins. Complete all poured/formed inverts through drain manholes. Install all steps as required.

UTILITY SYSTEM COMPLETION

Install all utility system appurtenances.

FINISHED PAVING

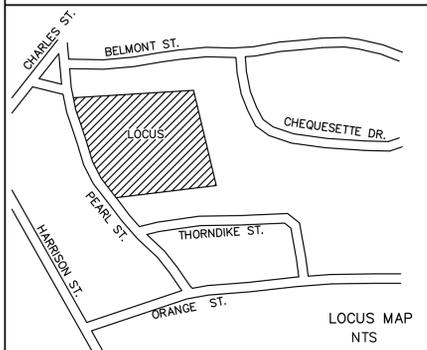
Inspect positioning and condition of TEC devices to assure integrity and purpose. Adjust and supplement TEC devices as necessary to assure prevention of sediment transport. Repair any damaged side slopes, curbs, other. Adjust all main and service appurtenance features to finished grade. Adjust any drainage structures as necessary to finished grade. Install finish surface course of paving.

FINAL CLEAN-UP

Clean Inverts of culverts and catch basins. Remove sediment and debris from site. Repair side slopes as necessary. Remove all construction debris from site. Remove all TEC devices in areas where permanent vegetation and erosion control has been established. Secure and supplement TEC devices in areas where permanent vegetation and erosion control has yet to be established. Install signs and pavement markings as applicable. Install plantings, supplement finished loam and seeding as required.

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RECORD PLAN: PLAN 1172 OF 1995
RECORD DEED: BOOK 25914, PAGE 1



APPROVED BY THE TOWN OF READING COMMUNITY PLANNING AND DEVELOPMENT COMMISSION.

DATE / /

APPLICATION FILED: APPROVAL DATE:

HEARING DATE: DATE ENDORSED:

NOTES
ELEVATIONS SHOWN ARE BASED ON TOWN OF READING SEWER DATUM.

246/028.0-0000-0098.0
TYPICAL ASSESSOR'S REFERENCE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE PROCEDURAL, TECHNICAL & ETHICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



**PLAN OF LAND AT
LONGWOOD PLACE
75 PEARL STREET
IN
READING, MA**

ASSESSORS M-B-L-246/028.0-0000-0079.0

PROPERTY OWNER:
READING SENIOR LIVING ASSOC. LIMITED PARTNERSHIP
75 PEARL STREET
READING, MA. 01867

ENGINEER
ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC.
97 TENNEY STREET - GEORGETOWN, MA 01833
PHONE: 978-352-7870 FAX: 978-352-9940

DRAWING FILE: \SEQ92\75Pearl-SITEPLAN-2014R2.dwg

JOB NO. A1403-03 DATE: MARCH 26, 2013

revision #	date	description
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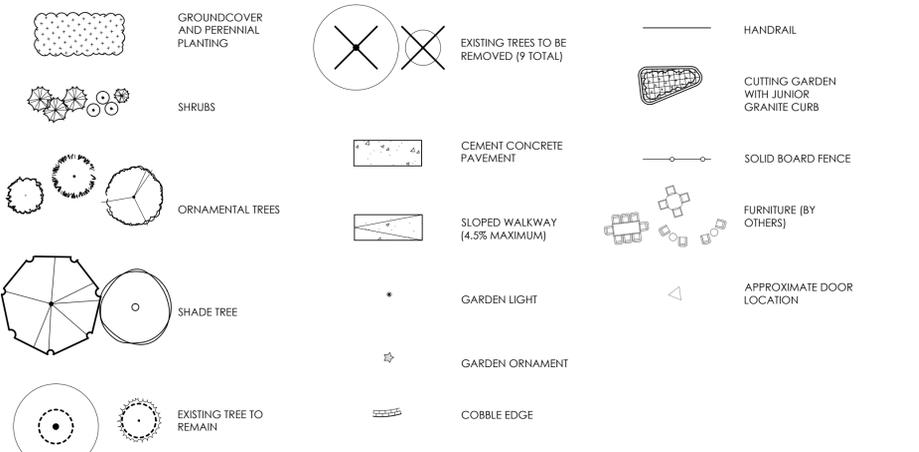
**SITE
MANAGEMENT
PLAN**

SHEET 5 OF 5

NOTES

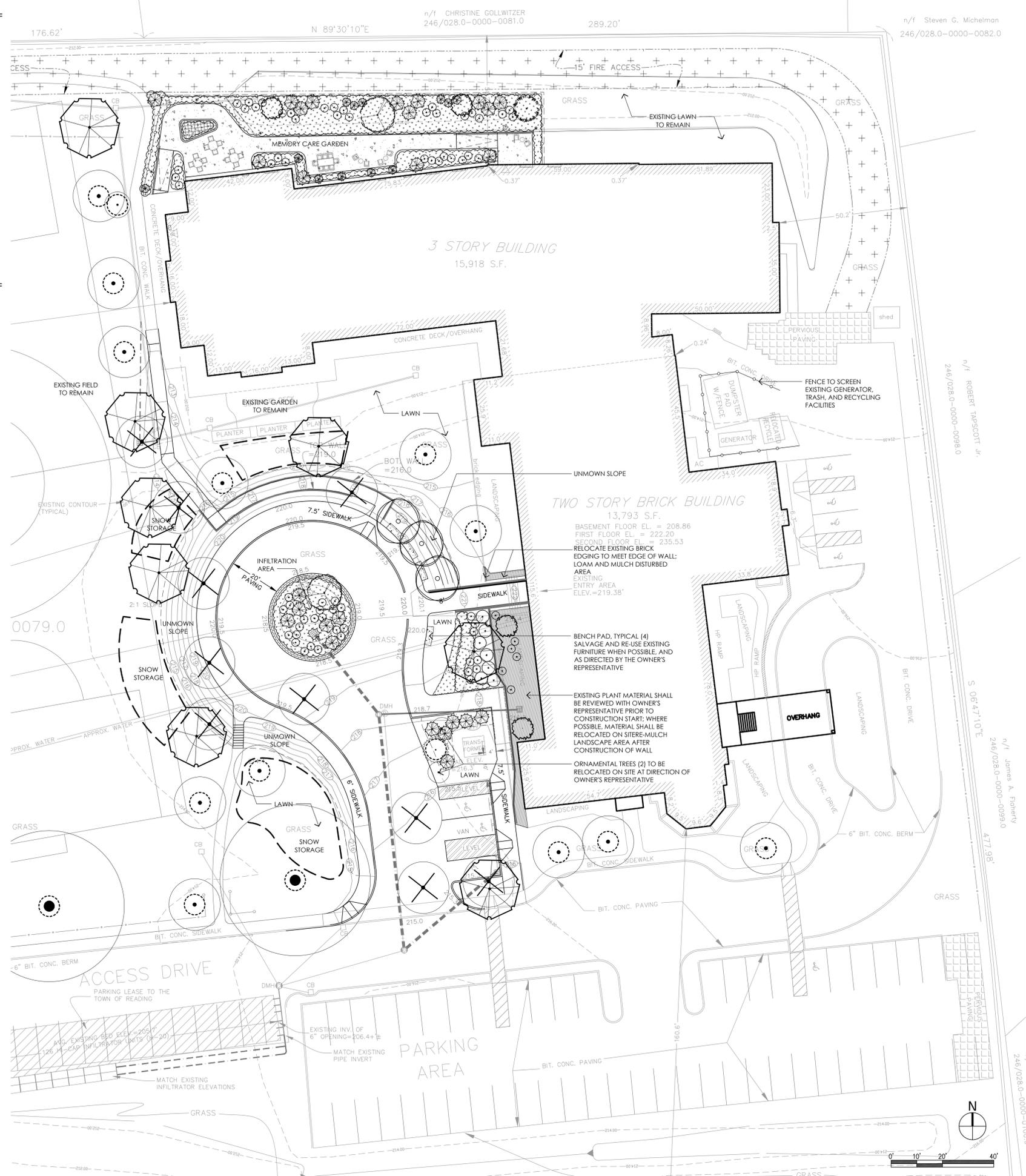
- OWNERS REPRESENTATIVE TO FLAG ALL TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- PLANT SPECIES AS INDICATED IN THE PLANT LIST ARE SUGGESTIONS ONLY. FINAL SELECTION OF SPECIES SHALL OCCUR AT THE TIME OF PLANT PURCHASE, DEPENDING ON AVAILABILITY. PLANT SIZE AND QUANTITY SHALL NOT CHANGE WITHOUT APPROVAL OF OWNER'S REPRESENTATIVE.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BE THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE, AT THE NURSERY, AND AT THE SITE.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- PLANTING SOIL MIX SHALL BE LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. FERTILIZER ADDED PER RECOMMENDED RATES OF SOILS ANALYSIS.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED AND SEEDDED WITH A MINIMUM OF 4" DEPTH TOPSOIL.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.

LEGEND



PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	QTY.	SIZE	NOTE
ALZ COURTYARD				
ACHILLEA 'CORONATION'	CORONATION GOLD YARROW	3	1 GAL	CUTTING GARDEN
ACHILLEA 'MOONSHINE'	MOONSHINE YARROW	3	1 GAL	CUTTING GARDEN
ALLIUM SPAROCEPHALUM	DRUMSTICK CHIVES	5	1 GAL	CUTTING GARDEN
AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	5	5 GAL	
ASTER NOVAE ANGLIAE	NEW ENGLAND WOOD ASTER	10	1 GAL	
ASTILBE CHINENSIS 'PUMILA'	PUMILA ASTILBE	10	1 GAL	
BUXUS SINICA VAR. INSULARIS 'WINTER GEM'	WINTER GEM BOXWOOD	6	2.5-3 FT B4B	
CAMPANULA LATIFOLIA 'ALBA'	WHITE GREAT BELLFLOWER	3	1 GAL	CUTTING GARDEN
CARPINUS CAROLINIANA	AMERICAN HORNBEAM	1	3-3 1/2" CAL.	
CLEMATIS 'THE PRESIDENT'	PURPLE-BLUE CLEMATIS	3	1 GAL	
CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	SIXTEEN CANDLES SUMMERSWEET	3	1 GAL	
CORNUS SERICEA	REDOSBERRY DOGWOOD	5	5 GAL	
ERYNGIUM GIGANTEUM	SEA HOLLY	3	1 GAL	CUTTING GARDEN
HAMAMELIS X INTERMEDIA 'ARNOLD'S PROMISE'	ARNOLD'S PROMISE WITCH HAZEL	2	5-6 FT B4B	
HEMEROCALLIS SPP.	DAYLILIES	10	1 GAL	
HOSTA SPP.	HOSTA	10	1 GAL	
HYDRANGEA MACROPHYLLA	BLUE LACECAP HYDRANGEA	12	5 GAL	
ILEX VERTICILLATA 'JIM DANDY'	DWARF MALE WINTERBERRY	1	3 GAL	
ILEX VERTICILLATA 'WINTER RED'	WINTERBERRY	5	3 GAL	
KALMIA LATIFOLIA	MOUNTAIN LAUREL	3	2.5-3 FT B4B	
LIATRIS SPICATA 'KOBOLD'	KOBOLD LIATRIS	5	1 GAL	CUTTING GARDEN
LILIUM ASIATIC HYBRIDS	ASIATIC LILY	5	1 GAL	CUTTING GARDEN
LIRIOPE MUSCARI	BIG BLUE LILYTURF	10	1 GAL	
MYRICA PENNSYLVANICA	BAYBERRY	3	7 GAL	
NEPETA X FAASSENII	CATMINT	10	1 GAL	
PAFONIA LACTIFLORA 'SEA SHELL'	SEA SHELL PEONY	3	1 GAL	CUTTING GARDEN
PHILOX CAROLINA 'MISS LINGARD'	MISS LINGARD EARLY PHLOX	3	1 GAL	CUTTING GARDEN
PHILOX PANICULATA 'FRANZ SCHUBERT'	FRANZ SCHUBERT GARDEN PHLOX	3	1 GAL	CUTTING GARDEN
PIERIS JAPONICA 'BROUWER'S BEAUTY'	BROUWER'S BEAUTY ANDROMEDA	3	7 GAL	
PLATYCODON GRANDIFLORUS	BALLOON FLOWER	3	1 GAL	CUTTING GARDEN
RHODODENDRON 'PJM'	PJM RHODODENDRON	6	7 GAL	
ROSA 'RADRAZZ'	RED KNOCK OUT ROSES	8	3 GAL	
SALVIA VERTICILLATA 'PURPLE RAIN'	PURPLE RAIN LILAC SAGE	3	1 GAL	CUTTING GARDEN
TAXUS BACCATA 'REPANDENS'	SPREADING ENGLISH YEW	15	2-2.5 FT B4B	
THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	5	6-7 FT B4B	
VINCA MINOR	PERIWINKLE	100	FLAT	
ENTRY, DRIVE & INFILTRATION AREA				
ACER SACCHARUM 'LEGACY'	LEGACY SUGAR MAPLE	6	3-3 1/2" CAL.	MIN. 6' BRANCHING
CARPINUS BETULUS 'FASTIGIATA'	UPRIGHT HORNBEAM	3	2 1/2-3" CAL.	HIGH BRANCHING
CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	SIXTEEN CANDLES SUMMERSWEET	6	1 GAL	
CORNUS STOLONIFERA (SERICEA)	REDOSBERRY DOGWOOD	6	5 GAL	
HAMAMELIS X INTERMEDIA 'ARNOLD'S PROMISE'	ARNOLD'S PROMISE WITCH HAZEL	3	5-6 FT B4B	
HEDERA HELIX	ENGLISH IVY	100	FLAT	
HYPERICUM DENSI-FORUM	ST. JOHN'S WORT	3	1 GAL	
HYDRANGEA ANOMALA PETIOLARIS	CLIMBING HYDRANGEA	3	5 GALLON	SECURE TO WALL
ILEX GLABRA 'DENSIA'	INKBERRY	7	5 GAL	
ILEX VERTICILLATA 'JIM DANDY'	DWARF MALE WINTERBERRY	1	3 GAL	
ILEX VERTICILLATA 'WINTER RED'	WINTERBERRY	8	3 GAL	
JUNIPERUS HORIZONTALIS 'BAR HARBOR'	CREeping JUNIPER	24	1 GAL	
MYRICA PENNSYLVANICA	BAYBERRY	6	7 GAL	
PENISSETUM ALOPECUROIDES 'HAMELI'	HAMELI DWARF FOUNTAIN GRASS	36	1 GAL	
RHODODENDRON C. 'GRANDIFLORUM'	UPRIGHT RHODODENDRON	3	3-3.5' B4B	
SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	8	5 GAL	
THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	3	6-7' B4B	
VINCA MINOR	PERIWINKLE	50	FLAT	



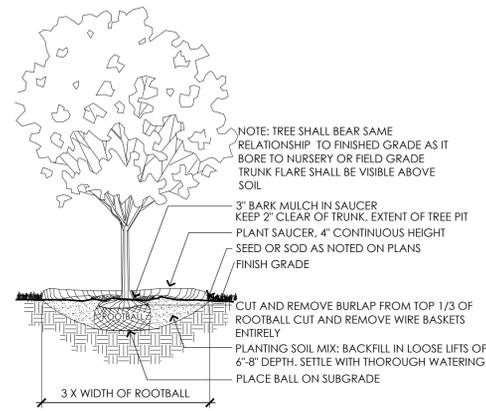
ubla
Ulrich Bachand Landscape Architecture, LLC
136 Main Street
Beverly, MA 01915
www.ubla.com

LONGWOOD PLACE
Reading, Massachusetts
LCB SENIOR LIVING
Norwood, Massachusetts

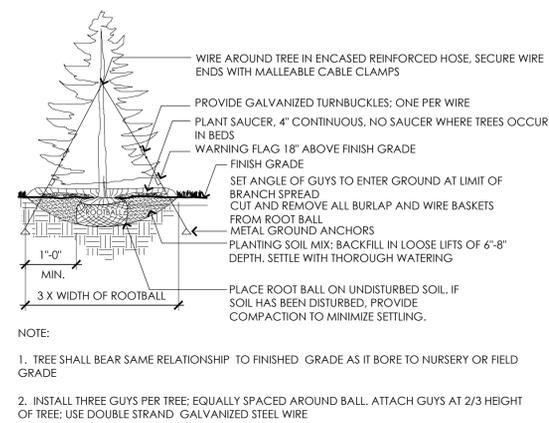
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REGISTERED LANDSCAPE ARCHITECT
Seal of James A. Flaherty

Submitted for Permit: 2014.04.21
LANDSCAPE PLAN
NOT FOR CONSTRUCTION

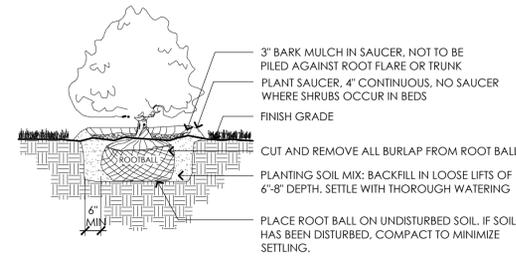
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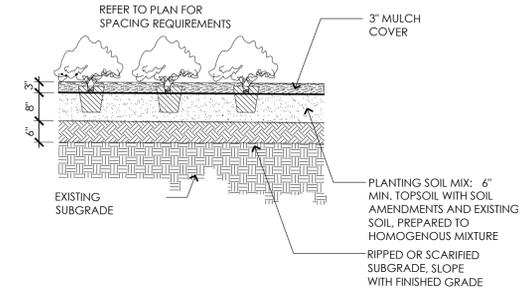
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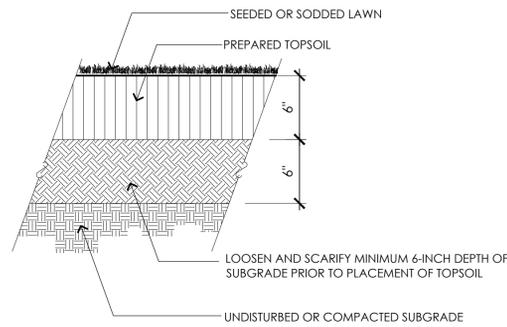
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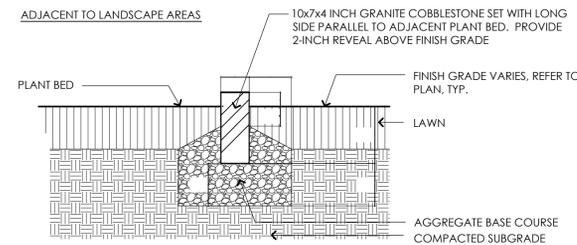
3 TYPICAL SHRUB PLANTING



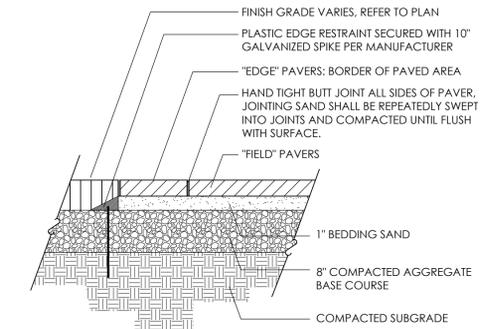
4 TYPICAL GROUNDCOVER PLANTING



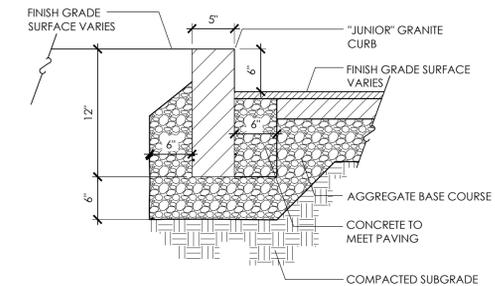
5 TYPICAL LAWN INSTALLATION



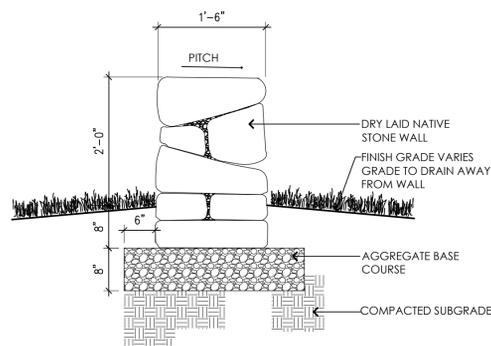
6 COBBLE EDGING



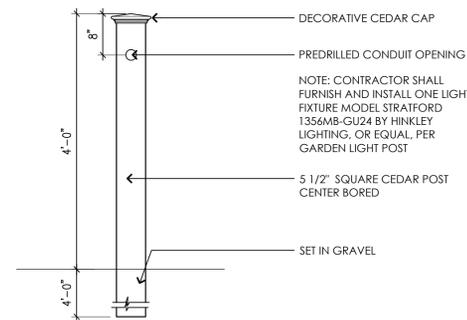
7 UNIT PAVER INSTALLATION



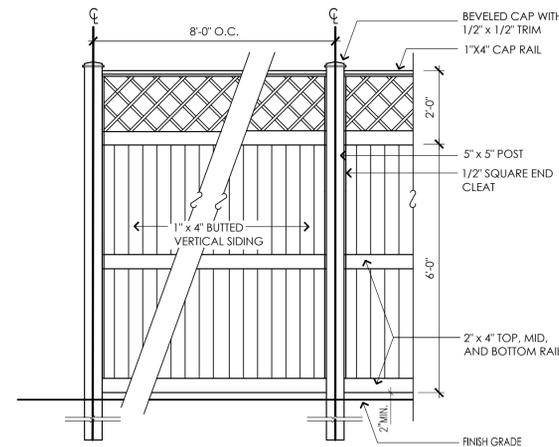
8 "JUNIOR" VERTICAL CURB



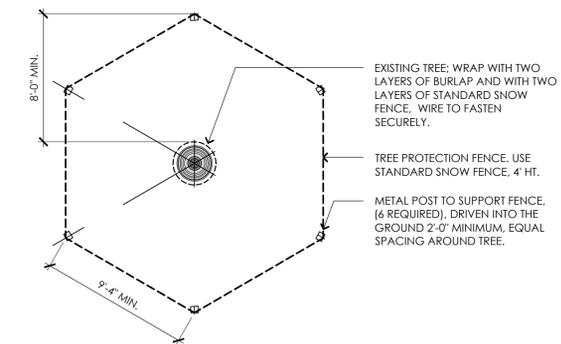
9 STONE WALL



10 GARDEN LIGHT



11 SOLID BOARD FENCE WITH LATTICE TOPPER



12 EXISTING TREE PROTECTION

REV:



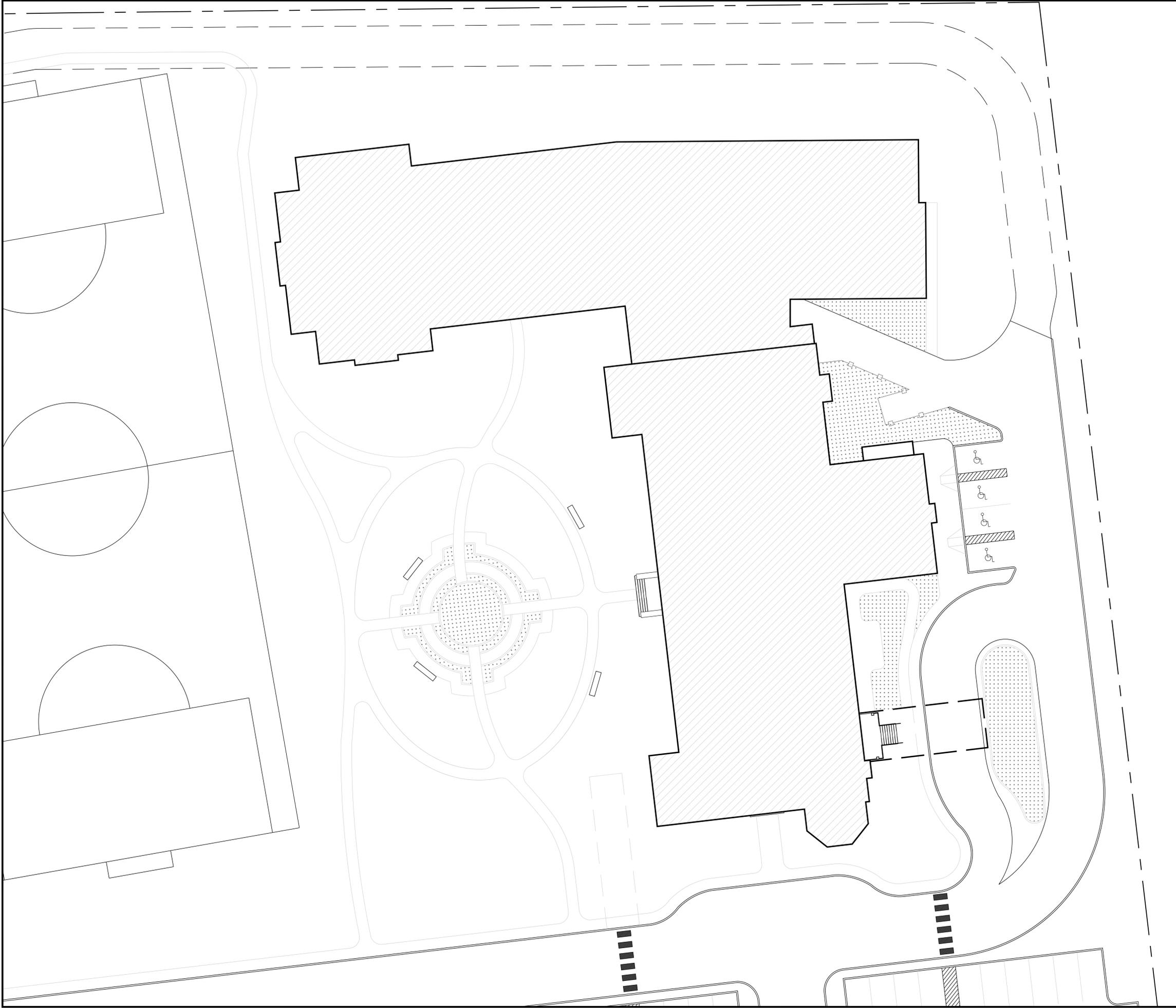
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LANDSCAPE DETAILS
NOT FOR CONSTRUCTION

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tat |
the architectural team

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Consultant:

Revision:

Architect of Record:

PROGRESS SET
Drawn: DQ
Checked: PM
Scale: 1/16" = 1'-0"
Key Plan:

Project Name:
LCB Residences at Reading

75 PEARL STREET

Sheet Name:
ARCHITECTURAL SITE PLAN

Project Number:
14032

Issue Date:
April 7, 2014

Sheet Number:
A0.01

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: P.H.

Checked: P.M.

Scale: AS NOTED

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

**GROUND FLOOR
OVER ALL PLAN**

Project Number:

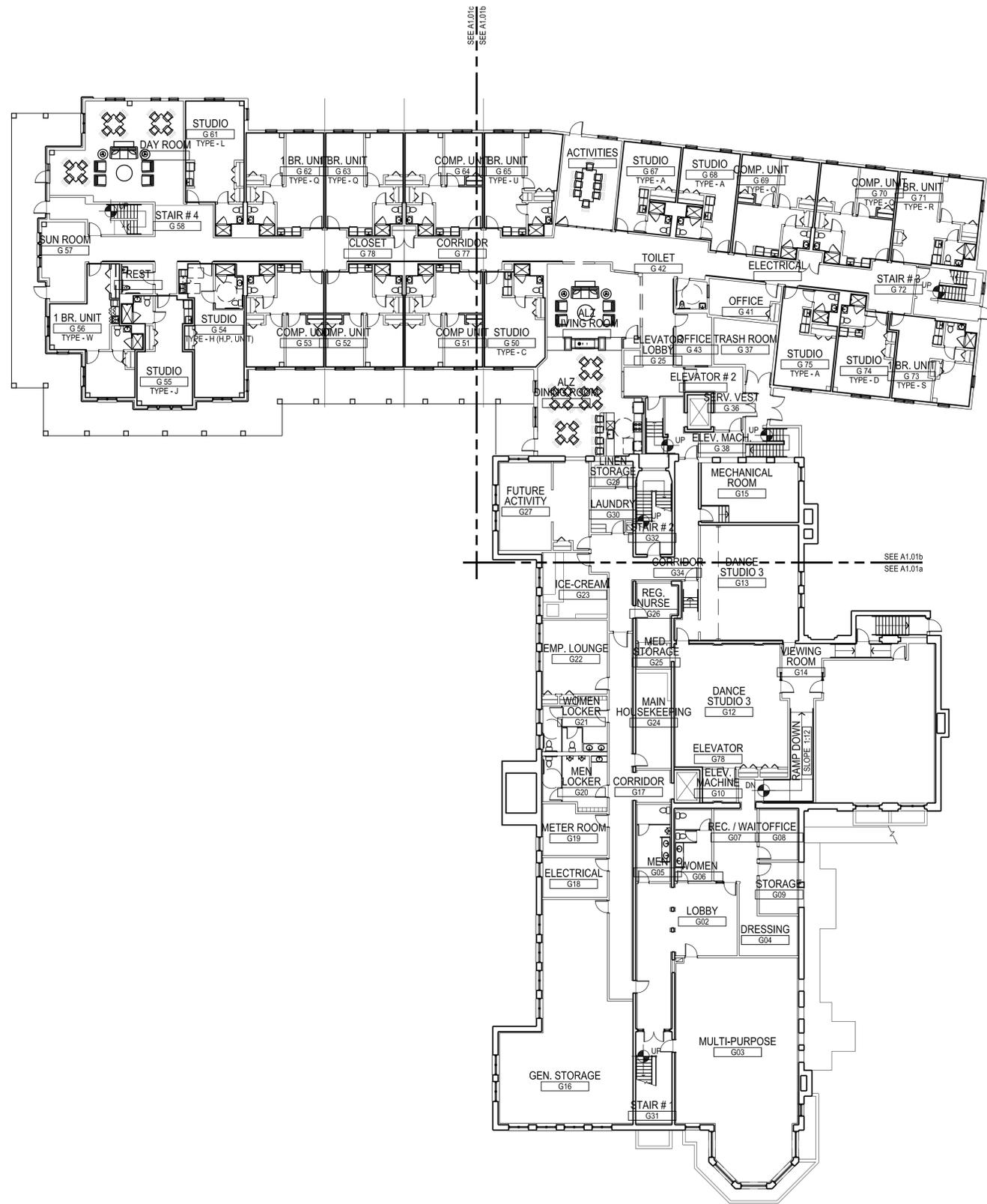
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Issue Date:

April 7, 2014

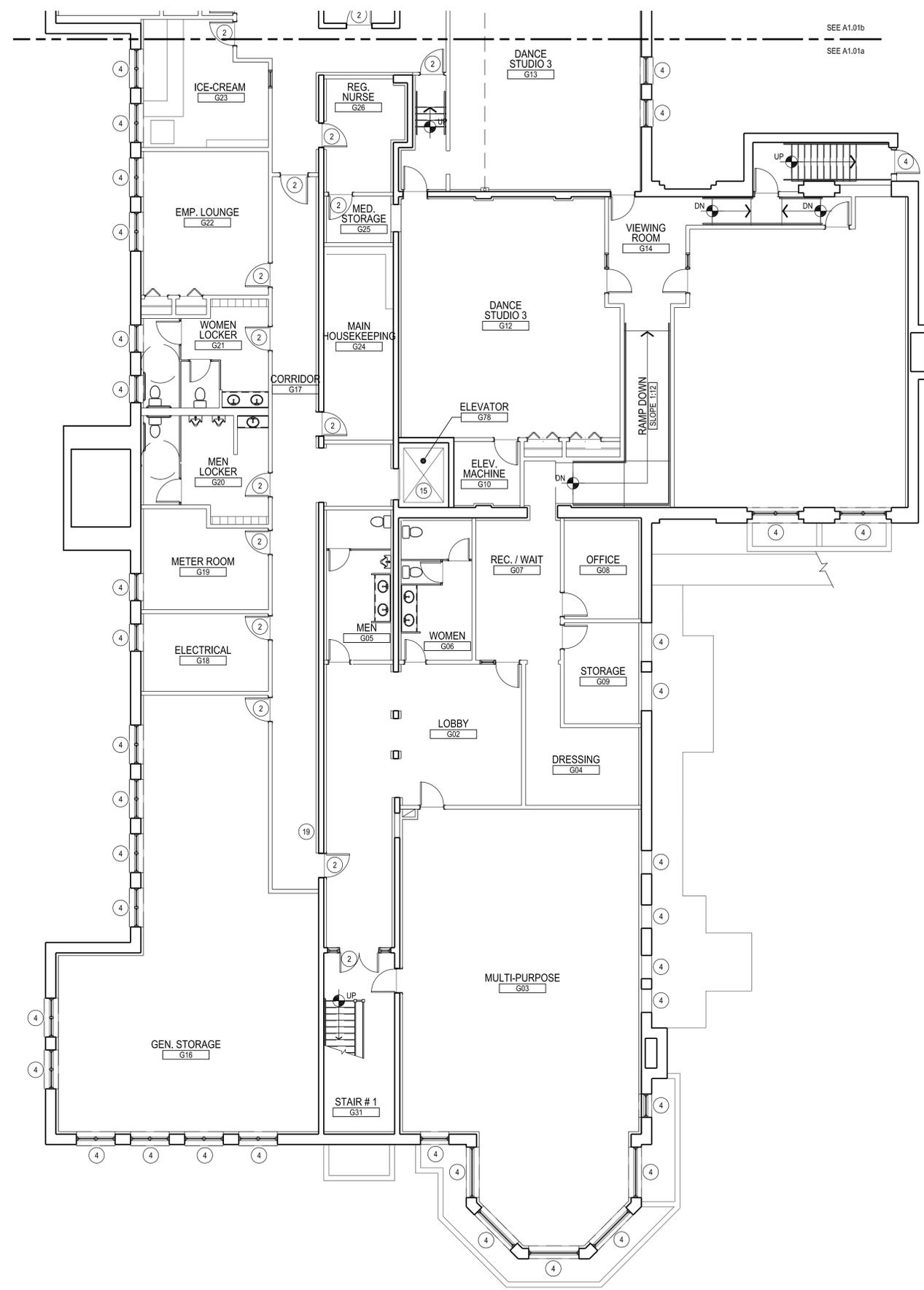
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A1.01



10 GROUND FLOOR PLAN
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10 GROUND FLOOR PLAN - PART A
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD.
- B. REFER TO DRAWINGS A2.01 - A2.07 FOR ENLARGED UNIT PLANS BY TYPE AND UNIT INTERIOR SCOPE.
- C. PROVIDE INDIVIDUAL UNIT DEDUCT COST TO REPLACE COMMON AREA DOOR HARDWARE (UNIT ENTRY DOORS INCLUDED) WITH SCHLAGE S SERIES LOCKSETS.
- D. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- E. REMOVE AND LEGALLY DISPOSE OF ALL EXISTING MATERIALS, EQUIPMENT, FURNISHINGS AND COMPONENTS AS REQUIRED TO ALLOW FOR THE PROPER COMPLETION OF THE SCOPE OF WORK.
- F. PROVIDE REQUIRED CONCRETE TO SUPPORT MEP/FP, CIVIL AND LANDSCAPE WORK.
- G. PROVIDE FIRESAFING AT BREACHES IN RATED WALLS AND ASSEMBLIES.
- H. REPLACE EXISTING JOINT SEALANTS ALONG THE INTERIOR AND EXTERIOR PERIMETERS OF ALL EXISTING EXTERIOR OPENINGS AROUND THE ENTIRE BUILDING.
- I. PROVIDE NEW JOINT SEALANT WHERE DISSIMILAR MATERIALS (PROPOSED OR EXISTING) MEET.
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- K. MODIFY EXISTING LEAN RAIL WITH BLOCKING AND NEW SHELF MOLDING.
- L. PROVIDE ADD ALTERNATE PRICING TO INSTALL 3-1/2" CROWN MOLDING TO CONCEAL NEW FIRE ALARM WIRING, PRIME AND PAINT. REFER TO FIRE ALARM DRAWINGS FOR LOCATIONS.
- M. PREPARE AND REPAIR ALL DAMAGED FINISHES AS AFFECTED BY THE SCOPE OF WORK.
- N. PREPARE EXISTING FLOORS AS REQUIRED TO INSTALL NEW FLOORING MATERIAL.
- O. REPLACE ALL ACOUSTIC CEILING TILES THROUGH OUT BUILDING. PROVIDE DEDUCT ALTERNATE PRICE TO LEAVE EXISTING ACT IN PLACE EXCEPT AT ALZ WING.
- P. PAINT ALL WALLS AND CEILINGS AT EXISTING COMMON AREAS AS WELL AS THOSE AFFECTED BY SCOPE. REFER TO SPECIFICATION FOR FINISH SCHEDULE.
- Q. PROVIDE FIRE RETARDANT WOOD BLOCKING FOR ALL NEW FURNISHINGS, ACCESSORIES AND EQUIPMENT.
- R. PROVIDE NEW WOOD TRIM TO MATCH EXISTING PROFILES AT ALL AREAS AFFECTED BY THE SCOPE.
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- U. REMOVE EXISTING AND PROVIDE NEW 1" HORIZONTAL MINI-BLINDS AT ALL WINDOWS. PROVIDE DEDUCT ALTERNATE PRICE FOR COMMON AREA WINDOWS.

KEY NOTES

- 1. EXISTING DWELLING UNIT. REFER TO ENLARGED UNIT PLANS FOR INTERIOR SCOPE.
- 2. REPLACE EXISTING DOOR HARDWARE WITH SCHLAGE S-SERIES FLAIR LEVERS.
- 3. EXISTING LAUNDRY. PROVIDE AND INSTALL NEW PLAM COUNTERTOP, METAL SUPPORT BRACKETS AND WIRE SHELVING.
- 4. SCRAPE, PRIME AND PAINT TWO COATS AT ALL EXTERIOR WOOD WINDOWS AND DOORS.
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- 21. PROVIDE NEW ARMSTRONG STAINED CABINETRY AND GRANITE COUNTERTOPS WITH GRANITE SIDE AND BACK SPLASHES.
- 22. PROVIDE NEW GRANITE WORKSTATION AT THE REVISED RECEPTION OFFICE.
- 23. PROVIDE NEW STAINED WOOD LIBRARY STACKS WITH ADJUSTABLE SHELVING.
- 24. NEW ELECTRIC FIREPLACE.
- 25. HOLLOW METAL SIDELIGHTS.
- 26. NEW WOOD DOOR TO MATCH EXISTING HISTORIC ENTRY DOOR.
- 27. TILE TO REMAIN. CABINETS TO BE INSTALLED OVER TILE.

KEY TO SYMBOLS



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Architect of Record:

PROGRESS SET
Drawn: P.H.
Checked: P.M.
Scale: AS NOTED
Key Plan:

Project Name:
LCB Residences at Reading

75 PEARL STREET

Sheet Name:
GROUND FLOOR PART A PLAN

Project Number:
14032

Issue Date:
April 7, 2014

Sheet Number:
A1.01a

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: P.H.

Checked: P.M.

Scale: AS NOTED

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

GROUND FLOOR PART B PLAN

Project Number:

14032

Issue Date:

April 7, 2014

Sheet Number:

A1.01b

GENERAL NOTES

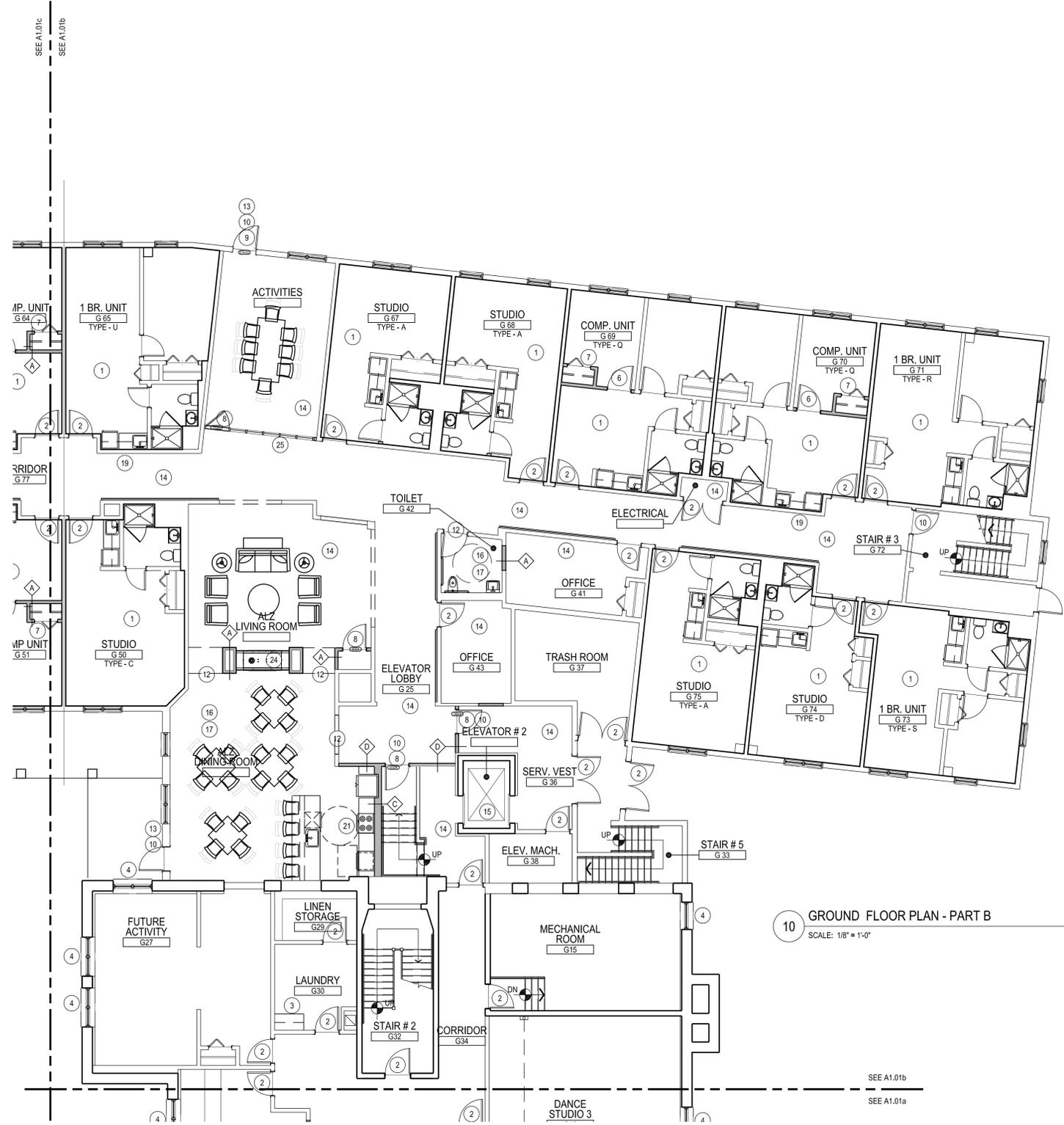
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27. TILE TO REMAIN. CABINETS TO BE INSTALLED OVER TILE.

KEY TO SYMBOLS

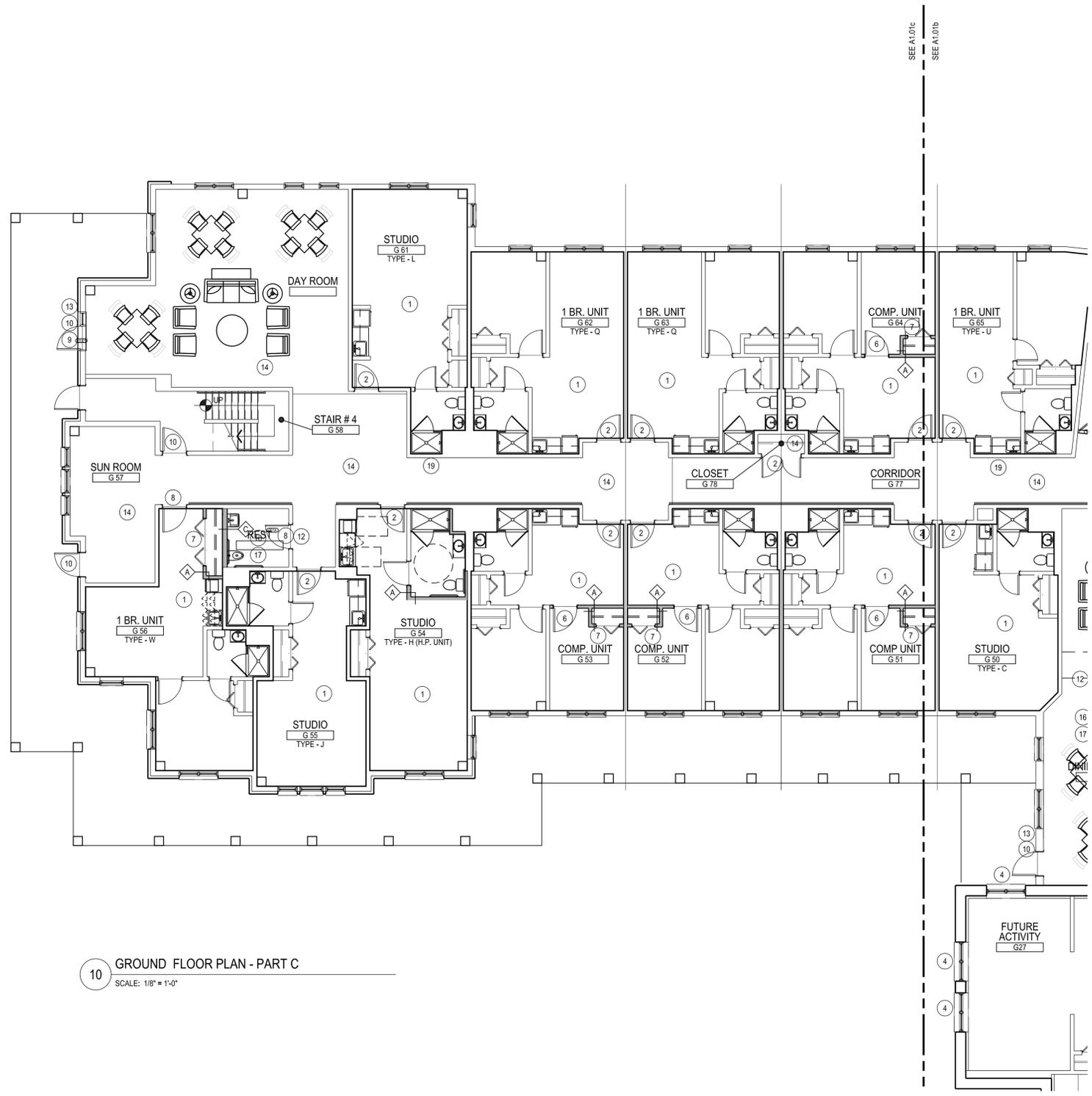
- PROPOSED WALL
- EXISTING WALL TO REMAIN
- XXX DOOR TYPE. REFER TO SPECIFICATIONS FOR DOOR SCHEDULE
- SY — FLOORING TRANSITION



10 GROUND FLOOR PLAN - PART B
SCALE: 1/8" = 1'-0"

SEE A1.01b
SEE A1.01a

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10 GROUND FLOOR PLAN - PART C
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

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- 16. REMOVE EXISTING FLOORING, PREPARE FLOOR AND INSTALL NEW VINYL PLANK FLOORING.
- 17. INSTALL NEW VINYL WALLCOVERING. REFER TO SPECIFICATION FOR FINISH SCHEDULE.
- 18. PROVIDE ENGINEERED LG FRAMING TO INFILL FLOORING AT REVISED MAIN ENTRANCE. INSTALL WITH FIRE RETARDANT PLYWOOD SUBFLOOR.
- 19. NEW CLASS A FIRE EXTINGUISHER WITH SEMI-RECESSED CABINET.
- 20. PROVIDE STEEL LINTELS AT NEW MASONRY OPENING.
- 21. PROVIDE NEW ARMSTRONG STAINED CABINETRY AND GRANITE COUNTERTOPS WITH GRANITE SIDE AND BACK SPLASHES.
- 22. PROVIDE NEW GRANITE WORKSTATION AT THE REVISED RECEPTION OFFICE.
- 23. PROVIDE NEW STAINED WOOD LIBRARY STACKS WITH ADJUSTABLE SHELVING.
- 24. NEW ELECTRIC FIREPLACE.
- 25. HOLLOW METAL SIDELIGHTS.
- 26. NEW WOOD DOOR TO MATCH EXISTING HISTORIC ENTRY DOOR.
- 27. TILE TO REMAIN. CABINETS TO BE INSTALLED OVER TILE.

KEY TO SYMBOLS



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Drawn: P.H.
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 Key Plan:

Project Name:
LCB Residences at Reading

75 PEARL STREET

Sheet Name:
GROUND FLOOR PART C PLAN

Project Number:
14032

Issue Date:
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Sheet Number:
A1.01c

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Revision:

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Scale: AS NOTED

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

**FIRST FLOOR
OVER ALL PLAN**

Project Number:

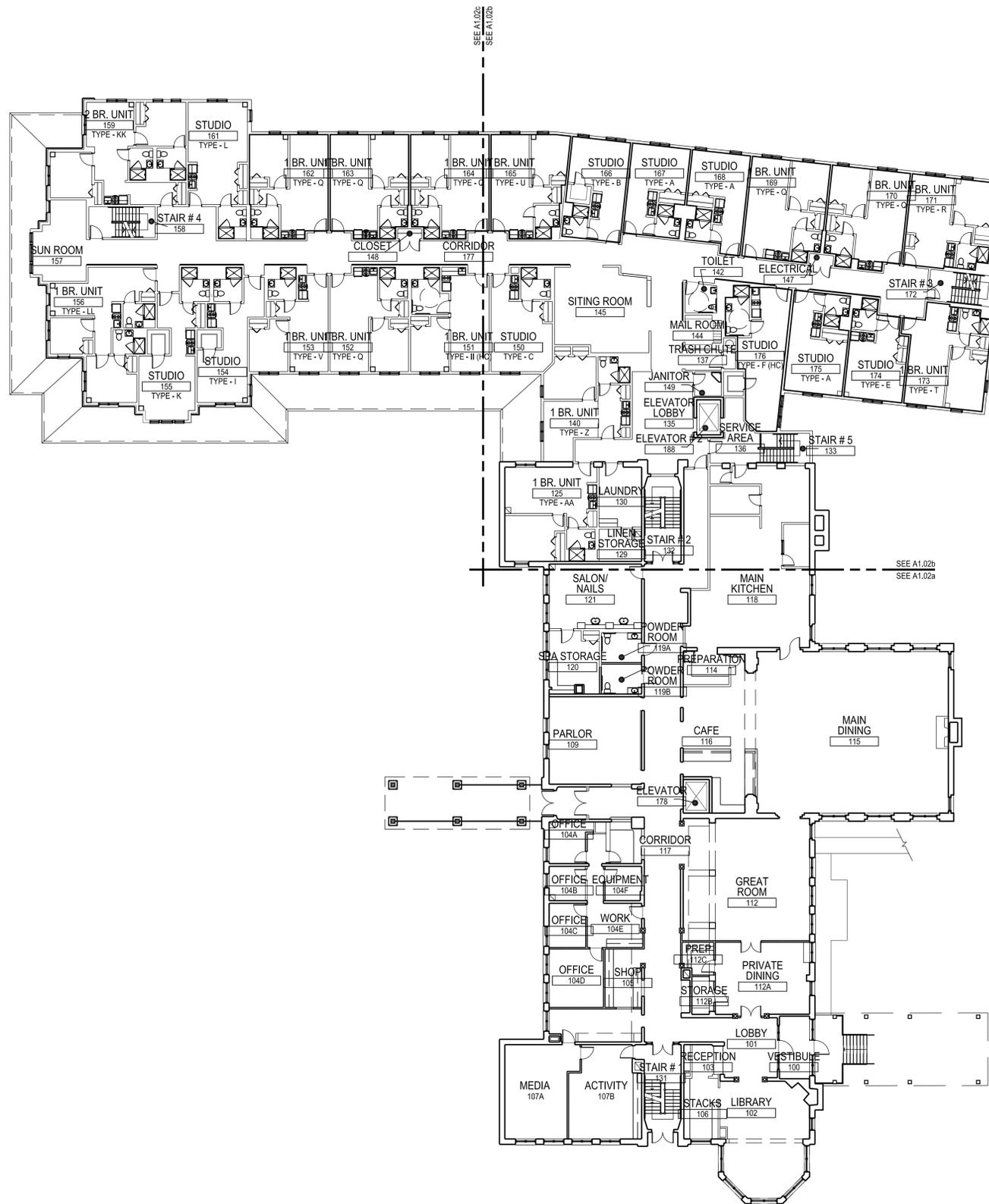
14032

Issue Date:

April 7, 2014

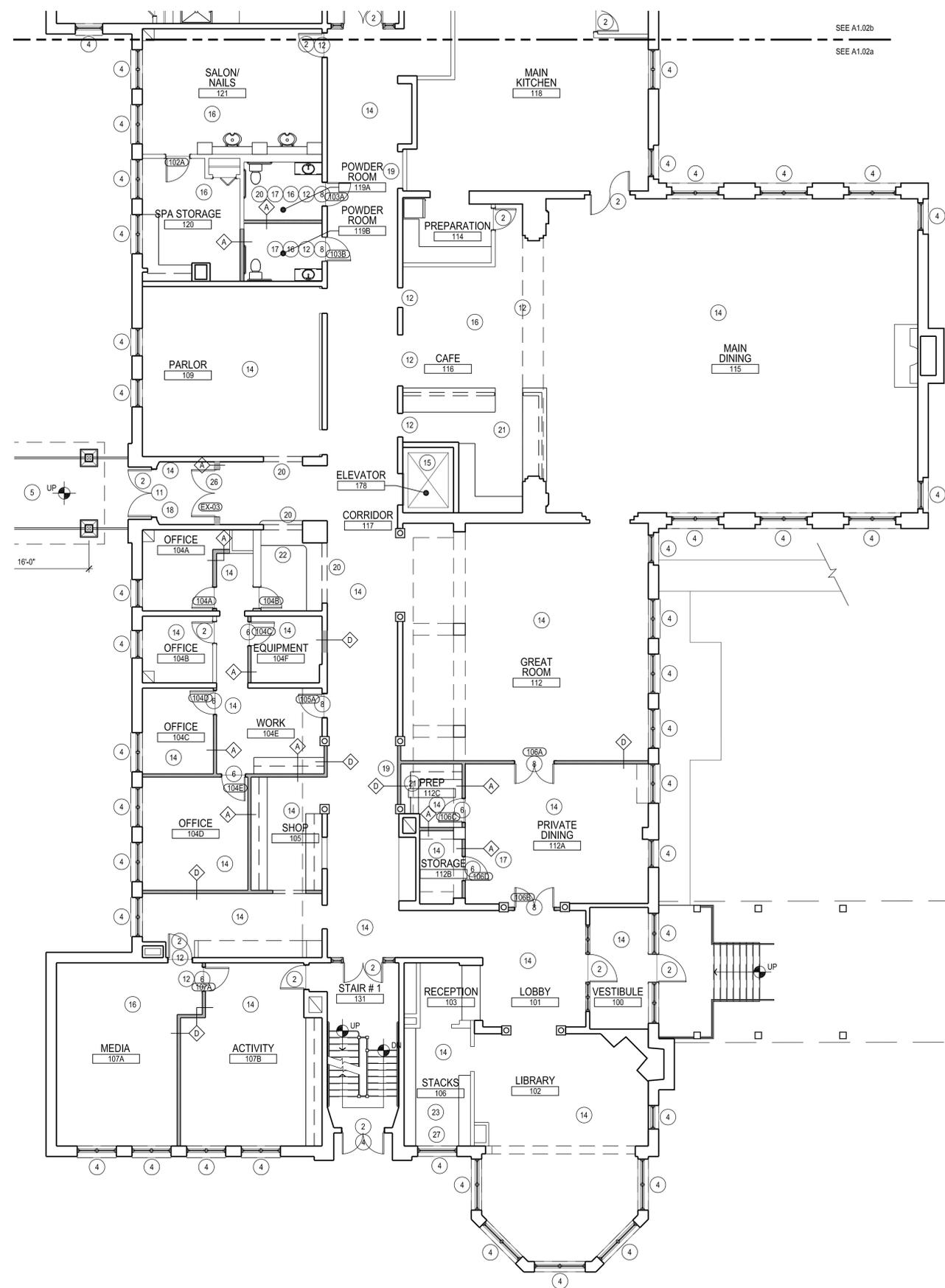
Sheet Number:

A1.02



10 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

Monday, April 07, 2014 3:53:03 PM P:\14032_Longwood Place\Drawings\Working\CAD\Plot Files\14032_A1.02 - Overall First Floor.dwg



10 FIRST FLOOR PLAN - PART A
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD.
- B. REFER TO DRAWINGS A2.01 - A2.07 FOR ENLARGED UNIT PLANS BY TYPE AND UNIT INTERIOR SCOPE.
- C. PROVIDE INDIVIDUAL UNIT DEDUCT COST TO REPLACE COMMON AREA DOOR HARDWARE (UNIT ENTRY DOORS INCLUDED) WITH SCHLAGE S SERIES LOCKSETS.
- D. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- E. REMOVE AND LEGALLY DISPOSE OF ALL EXISTING MATERIALS, EQUIPMENT, FURNISHINGS AND COMPONENTS AS REQUIRED TO ALLOW FOR THE PROPER COMPLETION OF THE SCOPE OF WORK.
- F. PROVIDE REQUIRED CONCRETE TO SUPPORT MEP/FP, CIVIL AND LANDSCAPE WORK.
- G. PROVIDE FIRESAFING AT BREACHES IN RATED WALLS AND ASSEMBLIES.
- H. REPLACE EXISTING JOINT SEALANTS ALONG THE INTERIOR AND EXTERIOR PERIMETERS OF ALL EXISTING EXTERIOR OPENINGS AROUND THE ENTIRE BUILDING.
- I. PROVIDE NEW JOINT SEALANT WHERE DISSIMILAR MATERIALS (PROPOSED OR EXISTING) MEET.
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- K. MODIFY EXISTING LEAN RAIL WITH BLOCKING AND NEW SHELF MOLDING.
- L. PROVIDE ADD ALTERNATE PRICING TO INSTALL 3-1/2" CROWN MOLDING TO CONCEAL NEW FIRE ALARM WIRING, PRIME AND PAINT. REFER TO FIRE ALARM DRAWINGS FOR LOCATIONS.
- M. PREPARE AND REPAIR ALL DAMAGED FINISHES AS AFFECTED BY THE SCOPE OF WORK.
- N. PREPARE EXISTING FLOORS AS REQUIRED TO INSTALL NEW FLOORING MATERIAL.
- O. REPLACE ALL ACOUSTIC CEILING TILES THROUGH OUT BUILDING. PROVIDE DEDUCT ALTERNATE PRICE TO LEAVE EXISTING ACT IN PLACE EXCEPT AT ALZ WING.
- P. PAINT ALL WALLS AND CEILINGS AT EXISTING COMMON AREAS AS WELL AS THOSE AFFECTED BY SCOPE. REFER TO SPECIFICATION FOR FINISH SCHEDULE.
- Q. PROVIDE FIRE RETARDANT WOOD BLOCKING FOR ALL NEW FURNISHINGS, ACCESSORIES AND EQUIPMENT.
- R. PROVIDE NEW WOOD TRIM TO MATCH EXISTING PROFILES AT ALL AREAS AFFECTED BY THE SCOPE.
- S. PROVIDE A COST PER SF FOR MASONRY REPOINTING AND A COST PER LF FOR MASONRY CRACK REPAIR.
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- U. REMOVE EXISTING AND PROVIDE NEW 1" HORIZONTAL MINI-BLINDS AT ALL WINDOWS. PROVIDE DEDUCT ALTERNATE PRICE FOR COMMON AREA WINDOWS.

KEY NOTES

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- 2. REPLACE EXISTING DOOR HARDWARE WITH SCHLAGE S-SERIES FLAIR LEVERS.
- 3. EXISTING LAUNDRY. PROVIDE AND INSTALL NEW PLAM COUNTERTOP, METAL SUPPORT BRACKETS AND WIRE SHELVING.
- 4. SCRAPE, PRIME AND PAINT TWO COATS AT ALL EXTERIOR WOOD WINDOWS AND DOORS.
- 5. NEW PORT COCHERE. PROVIDE EXCAVATION, CONCRETE AND REINFORCING FOR FOOTINGS, FRAMING, BRICK MASONRY VENEER AND EPDM ROOFING WITH ASSOCIATED FLASHING.
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Checked: P.M.
Scale: AS NOTED
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Project Name:
LCB Residences at Reading

75 PEARL STREET

Sheet Name:
FIRST FLOOR PART A PLAN

Project Number:
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A1.02a

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LCB Residences at Reading

75 PEARL STREET

Sheet Name:

**FIRST FLOOR
PART B PLAN**

Project Number:

14032

Issue Date:

April 7, 2014

Sheet Number:

A1.02b

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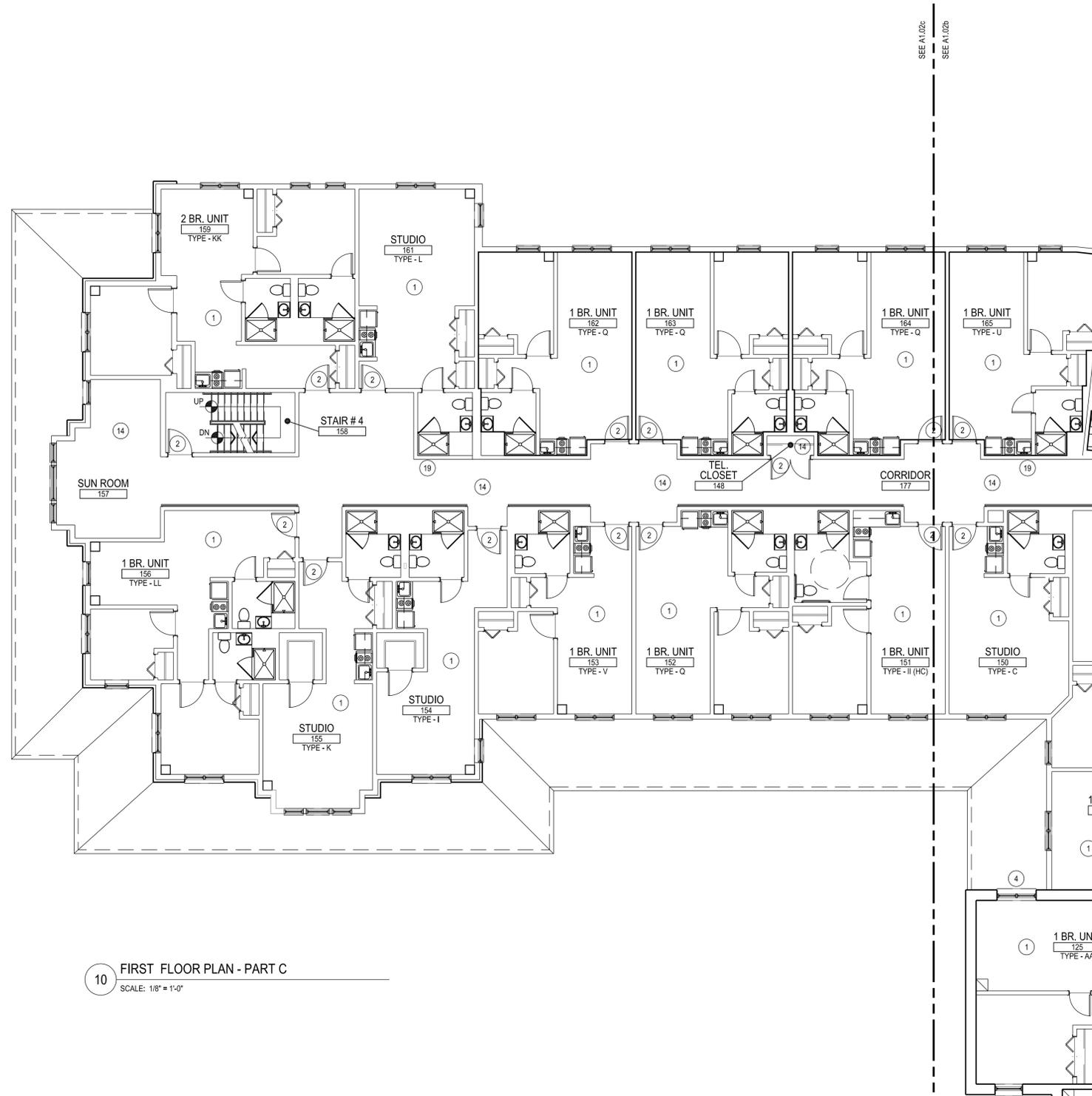
KEY TO SYMBOLS

- PROPOSED WALL
- EXISTING WALL TO REMAIN
- XXX DOOR TYPE. REFER TO SPECIFICATIONS FOR DOOR SCHEDULE
- SY — FLOORING TRANSITION



10 FIRST FLOOR PLAN - PART B
SCALE: 1/8" = 1'-0"

SEE A1.02b
SEE A1.02a



10 FIRST FLOOR PLAN - PART C
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

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KEY TO SYMBOLS



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Checked: P.M.

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Project Name:

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Sheet Name:

**FIRST FLOOR
 PART C PLAN**

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Issue Date:

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Sheet Number:

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LCB Residences at Reading

75 PEARL STREET

Sheet Name:

**SECOND FLOOR
OVER ALL PLAN**

Project Number:

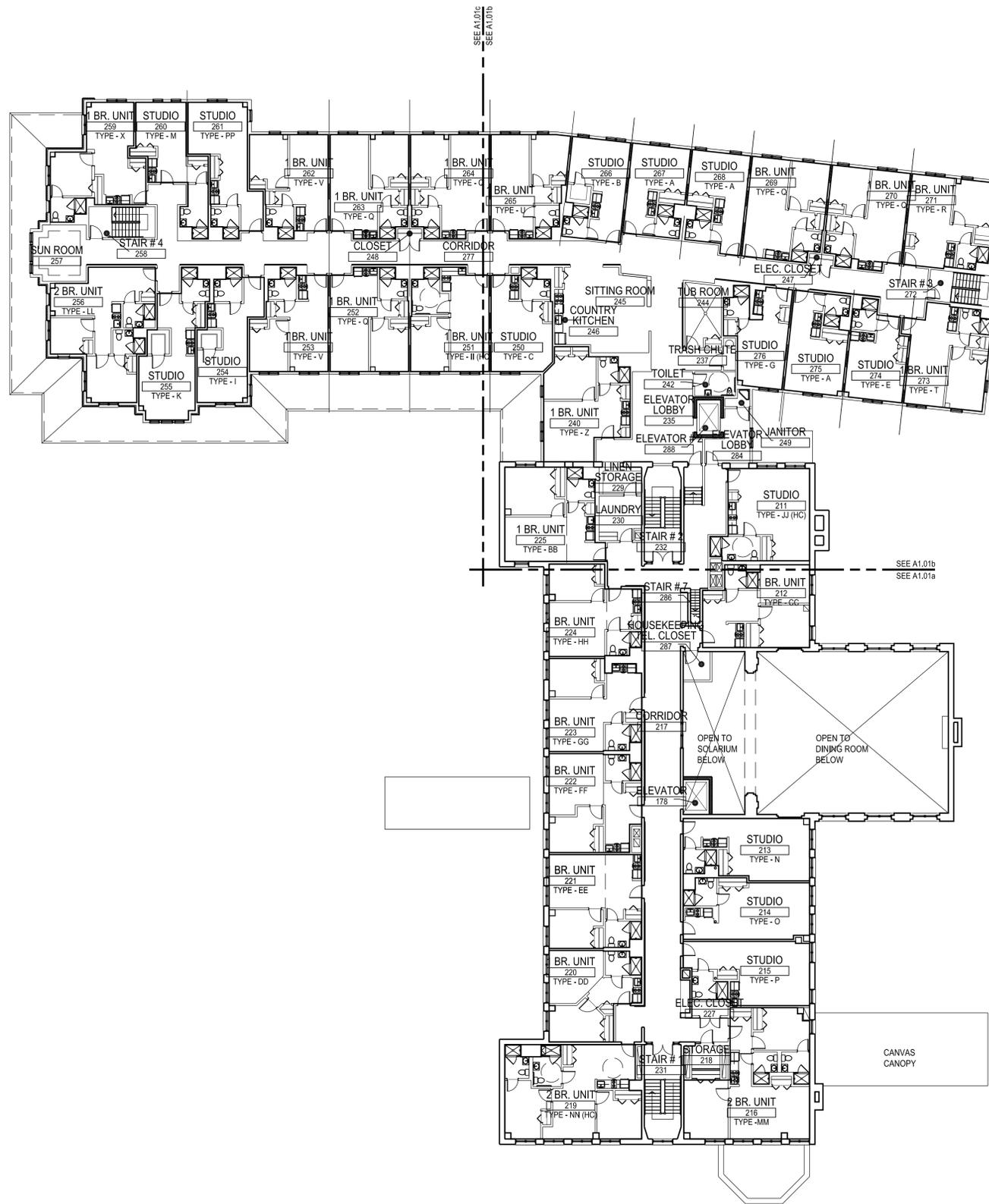
14032

Issue Date:

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Sheet Number:

A1.03



10 SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"

Consultant:

Revision:

Architect of Record:

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Scale: AS NOTED

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LCB Residences at Reading

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Sheet Name:

**SECOND FLOOR
PART A PLAN**

Project Number:

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Issue Date:

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Sheet Number:

A1.03a

GENERAL NOTES

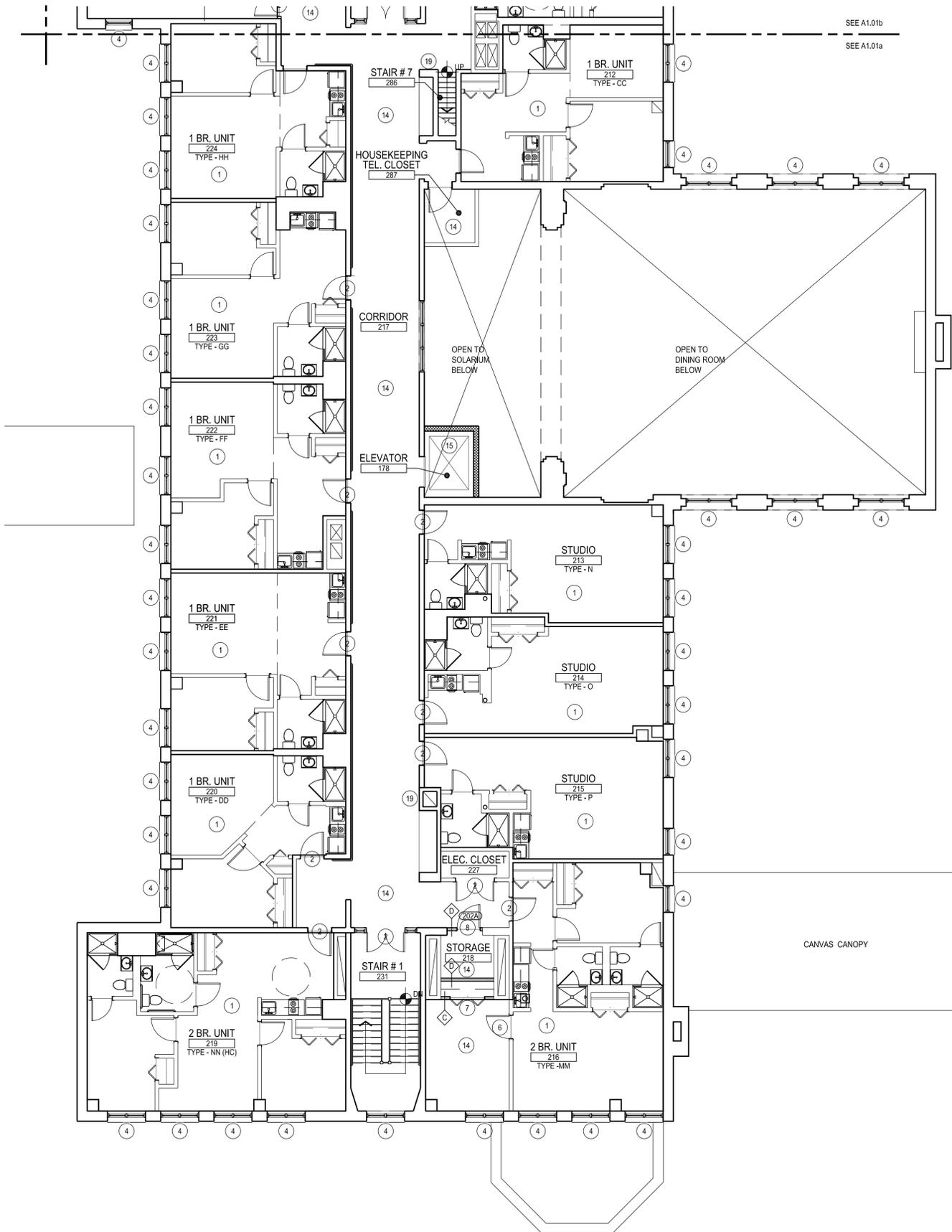
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- P. PAINT ALL WALLS AND CEILINGS AT EXISTING COMMON AREAS AS WELL AS THOSE AFFECTED BY SCOPE. REFER TO SPECIFICATION FOR FINISH SCHEDULE.
- Q. PROVIDE FIRE RETARDANT WOOD BLOCKING FOR ALL NEW FURNISHINGS, ACCESSORIES AND EQUIPMENT.
- R. PROVIDE NEW WOOD TRIM TO MATCH EXISTING PROFILES AT ALL AREAS AFFECTED BY THE SCOPE.
- S. PROVIDE A COST PER SF FOR MASONRY REPOINTING AND A COST PER LF FOR MASONRY CRACK REPAIR.
- T. ALL PROPOSED WORK IS TO BE COMPLETED WHILE RESIDENTS REMAIN IN PLACE. GC IS RESPONSIBLE FOR COORDINATING ACCESS WITH OPERATIONS, PHASING WORK APPROPRIATELY TO MINIMIZE INCONVENIENCE AND CLEANING AS REQUIRED TO MAINTAIN A SAFE AND CLEAN ENVIRONMENT FOR RESIDENTS.
- U. REMOVE EXISTING AND PROVIDE NEW 1" HORIZONTAL MINI-BLINDS AT ALL WINDOWS. PROVIDE DEDUCT ALTERNATE PRICE FOR COMMON AREA WINDOWS.

KEY NOTES

1. EXISTING DWELLING UNIT. REFER TO ENLARGED UNIT PLANS FOR INTERIOR SCOPE.
2. REPLACE EXISTING DOOR HARDWARE WITH SCHLAGE S-SERIES FLAIR LEVERS.
3. EXISTING LAUNDRY. PROVIDE AND INSTALL NEW PLAM COUNTERTOP, METAL SUPPORT BRACKETS AND WIRE SHELVING.
4. SCRAPE, PRIME AND PAINT TWO COATS AT ALL EXTERIOR WOOD WINDOWS AND DOORS.
5. NEW PORT COCHERE. PROVIDE EXCAVATION, CONCRETE AND REINFORCING FOR FOOTINGS, FRAMING, BRICK MASONRY VENEER AND EPDM ROOFING WITH ASSOCIATED FLASHING.
6. NEW SOLID CORE, 6 PANEL WOOD DOOR WITH NEW HARDWARE. REFER TO SPECIFICATION FOR DOOR SCHEDULE.
7. NEW MAGI-GLIDE BI-FOLD DOORS WITH ASSOCIATED HARDWARE. REFER TO SPECIFICATION FOR DOOR SCHEDULE.
8. NEW 20 MINUTE RATED, SOLID CORE, 6 PANEL WOOD DOOR WITH NEW HARDWARE. REFER TO SPECIFICATION FOR DOOR SCHEDULE.
9. NEW INSULATED STEEL DOOR WITH TEMPERED INSULATED GLASS PANELS WITH NEW HARDWARE. REFER TO SPECIFICATION FOR DOOR SCHEDULE.
10. PROVIDE AND INSTALL NEW DELAYED EGRESS MAGNETIC LOCKING DEVICE AT THIS LOCATION.
11. REMOVE EXISTING HISTORIC WOOD ENTRY DOOR AND TRANSOM. REPAIR AS REQUIRED AND MODIFY TO BE INSTALLED IN NEW OPENING.
12. INSTALL VINYL TRANSITION STRIP BETWEEN DIFFERENT FLOORING MATERIALS.
13. PATCH EXTERIOR SIDING. PRIME AND PAINT ALL AFFECTED AREAS.
14. REMOVE EXISTING CARPET, PREPARE FLOOR AND INSTALL NEW SPECIFIED CARPET. INSTALL NEW RUBBER 5-1/2" PROFILE WALL BASE AT CARPET REPLACEMENT.
15. REMOVE EXISTING AND INSTALL NEW FLOORING AND WALL PANELS AT ELEVATOR CAB.
16. REMOVE EXISTING FLOORING, PREPARE FLOOR AND INSTALL NEW VINYL PLANK FLOORING.
17. INSTALL NEW VINYL WALLCOVERING. REFER TO SPECIFICATION FOR FINISH SCHEDULE.
18. PROVIDE ENGINEERED LG FRAMING TO INFILL FLOORING AT REVISED MAIN ENTRANCE. INSTALL WITH FIRE RETARDANT PLYWOOD SUBFLOOR.
19. NEW CLASS A FIRE EXTINGUISHER WITH SEMI-RECESSED CABINET.
20. PROVIDE STEEL LINTELS AT NEW MASONRY OPENING.
21. PROVIDE NEW ARMSTRONG STAINED CABINETRY AND GRANITE COUNTERTOPS WITH GRANITE SIDE AND BACK SPLASHES.
22. PROVIDE NEW GRANITE WORKSTATION AT THE REVISED RECEPTION OFFICE.
23. PROVIDE NEW STAINED WOOD LIBRARY STACKS WITH ADJUSTABLE SHELVING.
24. NEW ELECTRIC FIREPLACE.
25. HOLLOW METAL SIDELIGHTS.
26. NEW WOOD DOOR TO MATCH EXISTING HISTORIC ENTRY DOOR.
27. TILE TO REMAIN. CABINETS TO BE INSTALLED OVER TILE.

KEY TO SYMBOLS

- PROPOSED WALL
- EXISTING WALL TO REMAIN
- XXX DOOR TYPE. REFER TO SPECIFICATIONS FOR DOOR SCHEDULE
- SY — FLOORING TRANSITION



10 SECOND FLOOR PLAN - PART A
SCALE: 1/8" = 1'-0"

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Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: P.H.

Checked: P.M.

Scale: AS NOTED

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

**SECOND FLOOR
PART B PLAN**

Project Number:

14032

Issue Date:

April 7, 2014

Sheet Number:

A1.03b

GENERAL NOTES

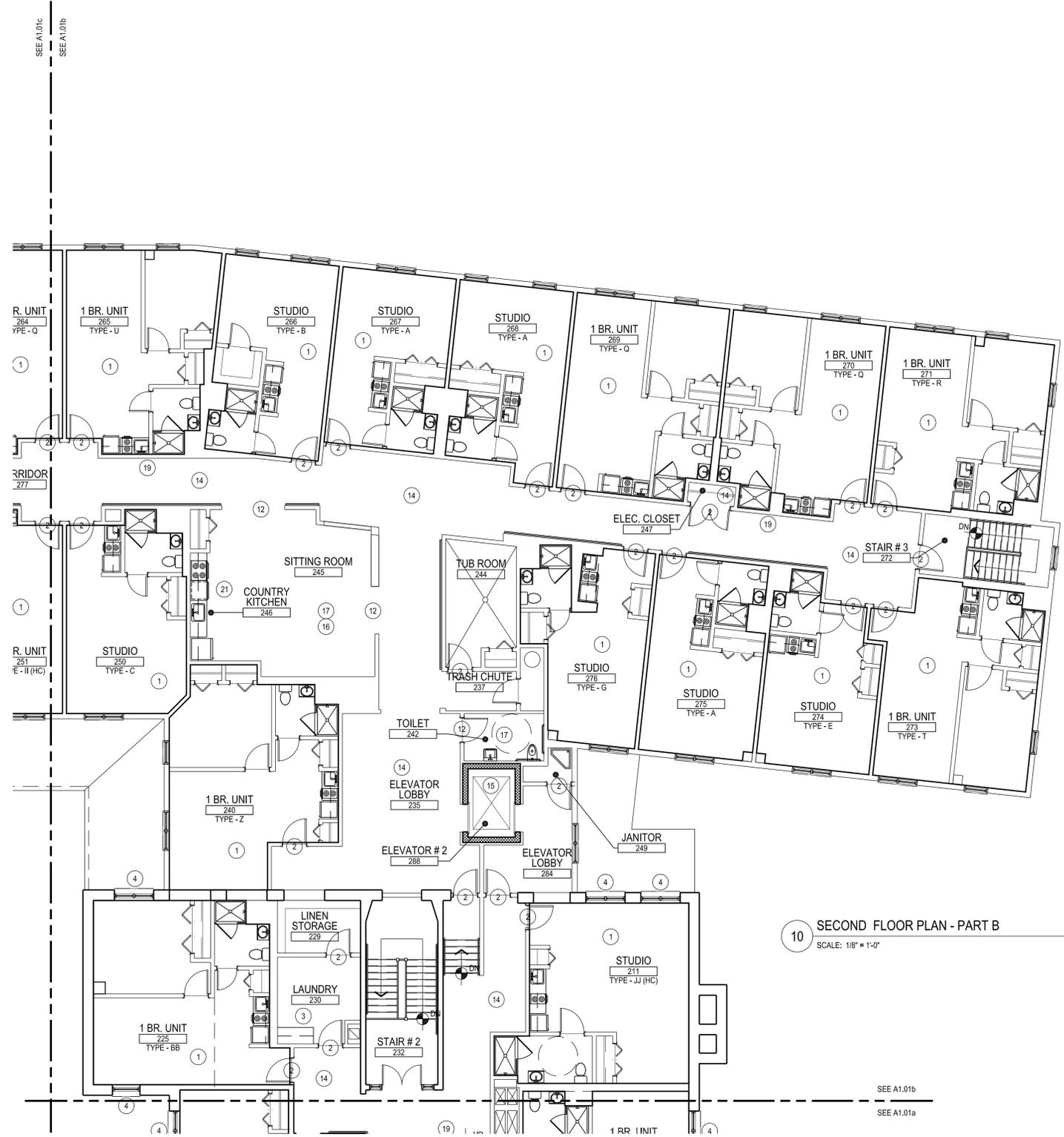
- A. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD.
- B. REFER TO DRAWINGS A2.01 - A2.07 FOR ENLARGED UNIT PLANS BY TYPE AND UNIT INTERIOR SCOPE.
- C. PROVIDE INDIVIDUAL UNIT DEDUCT COST TO REPLACE COMMON AREA DOOR HARDWARE (UNIT ENTRY DOORS INCLUDED) WITH SCHLAGE S SERIES LOCKSETS.
- D. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- E. REMOVE AND LEGALLY DISPOSE OF ALL EXISTING MATERIALS, EQUIPMENT, FURNISHINGS AND COMPONENTS AS REQUIRED TO ALLOW FOR THE PROPER COMPLETION OF THE SCOPE OF WORK.
- F. PROVIDE REQUIRED CONCRETE TO SUPPORT MEP/FP, CIVIL AND LANDSCAPE WORK.
- G. PROVIDE FIRESAFING AT BREACHES IN RATED WALLS AND ASSEMBLIES.
- H. REPLACE EXISTING JOINT SEALANTS ALONG THE INTERIOR AND EXTERIOR PERIMETERS OF ALL EXISTING EXTERIOR OPENINGS AROUND THE ENTIRE BUILDING.
- I. PROVIDE NEW JOINT SEALANT WHERE DISSIMILAR MATERIALS (PROPOSED OR EXISTING) MEET.
- J. PROVIDE NEW LEAN RAIL AND CHAIR RAIL AT ALL RESIDENT CORRIDORS (1990 ADDITION ONLY).
- K. MODIFY EXISTING LEAN RAIL WITH BLOCKING AND NEW SHELF MOLDING.
- L. PROVIDE ADD ALTERNATE PRICING TO INSTALL 3-1/2" CROWN MOLDING TO CONCEAL NEW FIRE ALARM WIRING, PRIME AND PAINT. REFER TO FIRE ALARM DRAWINGS FOR LOCATIONS.
- M. PREPARE AND REPAIR ALL DAMAGED FINISHES AS AFFECTED BY THE SCOPE OF WORK.
- N. PREPARE EXISTING FLOORS AS REQUIRED TO INSTALL NEW FLOORING MATERIAL.
- O. REPLACE ALL ACOUSTIC CEILING TILES THROUGH OUT BUILDING. PROVIDE DEDUCT ALTERNATE PRICE TO LEAVE EXISTING ACT IN PLACE EXCEPT AT ALZ WING.
- P. PAINT ALL WALLS AND CEILINGS AT EXISTING COMMON AREAS AS WELL AS THOSE AFFECTED BY SCOPE. REFER TO SPECIFICATION FOR FINISH SCHEDULE.
- Q. PROVIDE FIRE RETARDANT WOOD BLOCKING FOR ALL NEW FURNISHINGS, ACCESSORIES AND EQUIPMENT.
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- U. REMOVE EXISTING AND PROVIDE NEW 1" HORIZONTAL MINI-BLINDS AT ALL WINDOWS. PROVIDE DEDUCT ALTERNATE PRICE FOR COMMON AREA WINDOWS.

KEY NOTES

1. EXISTING DWELLING UNIT. REFER TO ENLARGED UNIT PLANS FOR INTERIOR SCOPE.
2. REPLACE EXISTING DOOR HARDWARE WITH SCHLAGE S-SERIES FLAIR LEVERS.
3. EXISTING LAUNDRY. PROVIDE AND INSTALL NEW PLAM COUNTERTOP, METAL SUPPORT BRACKETS AND WIRE SHELVING.
4. SCRAPE, PRIME AND PAINT TWO COATS AT ALL EXTERIOR WOOD WINDOWS AND DOORS.
5. NEW PORT COCHERE. PROVIDE EXCAVATION, CONCRETE AND REINFORCING FOR FOOTINGS, FRAMING, BRICK MASONRY VENEER AND EPDM ROOFING WITH ASSOCIATED FLASHING.
6. NEW SOLID CORE, 6 PANEL WOOD DOOR WITH NEW HARDWARE. REFER TO SPECIFICATION FOR DOOR SCHEDULE.
7. NEW MAGI-GLIDE BI-FOLD DOORS WITH ASSOCIATED HARDWARE. REFER TO SPECIFICATION FOR DOOR SCHEDULE.
8. NEW 20 MINUTE RATED, SOLID CORE, 6 PANEL WOOD DOOR WITH NEW HARDWARE. REFER TO SPECIFICATION FOR DOOR SCHEDULE.
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10. PROVIDE AND INSTALL NEW DELAYED EGRESS MAGNETIC LOCKING DEVICE AT THIS LOCATION.
11. REMOVE EXISTING HISTORIC WOOD ENTRY DOOR AND TRANSOM. REPAIR AS REQUIRED AND MODIFY TO BE INSTALLED IN NEW OPENING.
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15. REMOVE EXISTING AND INSTALL NEW FLOORING AND WALL PANELS AT ELEVATOR CAB.
16. REMOVE EXISTING FLOORING, PREPARE FLOOR AND INSTALL NEW VINYL PLANK FLOORING.
17. INSTALL NEW VINYL WALLCOVERING. REFER TO SPECIFICATION FOR FINISH SCHEDULE.
18. PROVIDE ENGINEERED LG FRAMING TO INFILL FLOORING AT REVISED MAIN ENTRANCE. INSTALL WITH FIRE RETARDANT PLYWOOD SUBFLOOR.
19. NEW CLASS A FIRE EXTINGUISHER WITH SEMI-RECESSED CABINET.
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22. PROVIDE NEW GRANITE WORKSTATION AT THE REVISED RECEPTION OFFICE.
23. PROVIDE NEW STAINED WOOD LIBRARY STACKS WITH ADJUSTABLE SHELVING.
24. NEW ELECTRIC FIREPLACE.
25. HOLLOW METAL SIDELIGHTS.
26. NEW WOOD DOOR TO MATCH EXISTING HISTORIC ENTRY DOOR.
27. TILE TO REMAIN. CABINETS TO BE INSTALLED OVER TILE.

KEY TO SYMBOLS

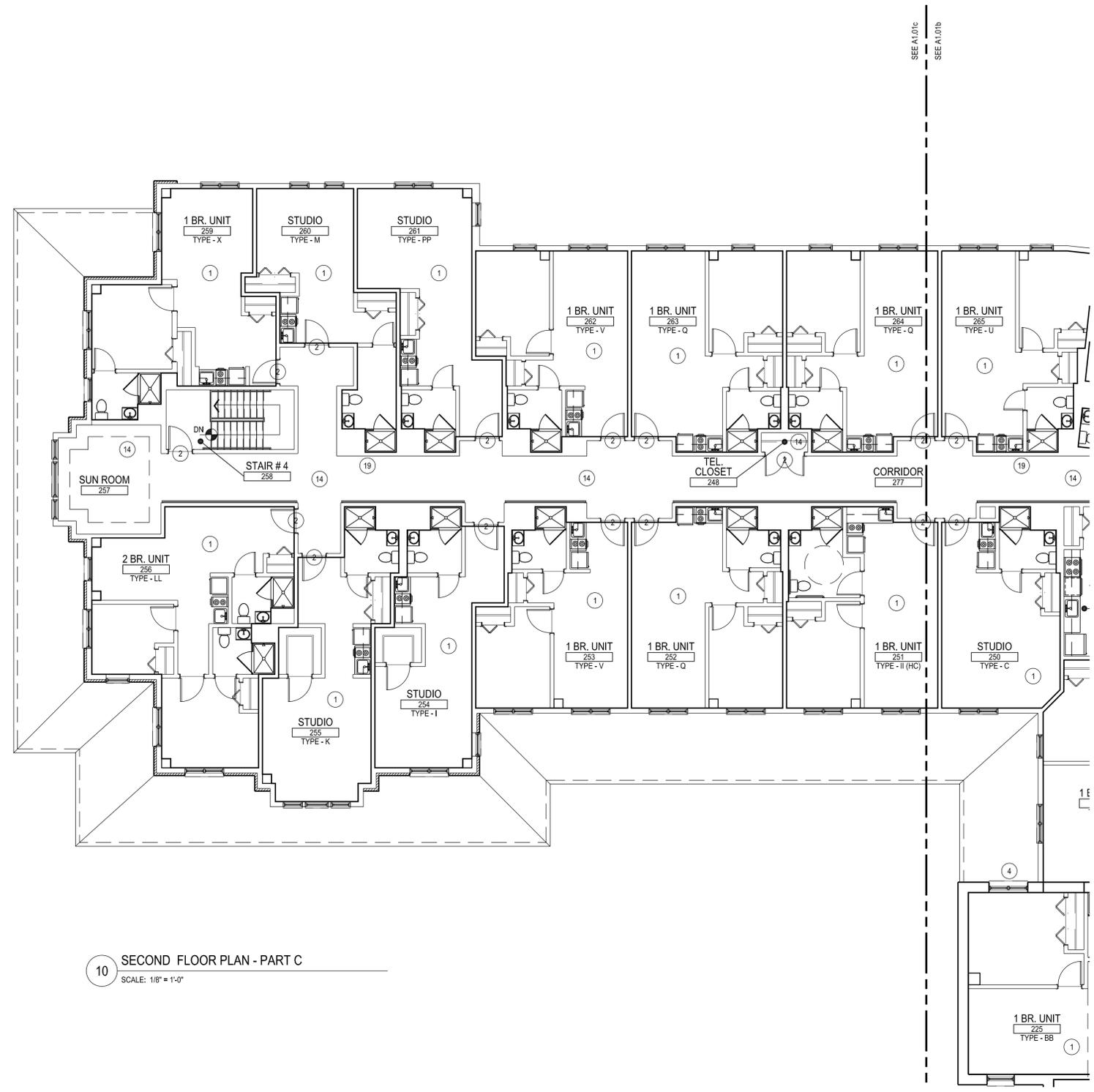
- PROPOSED WALL
- EXISTING WALL TO REMAIN
- XXX DOOR TYPE. REFER TO SPECIFICATIONS FOR DOOR SCHEDULE
- SY — FLOORING TRANSITION



10 SECOND FLOOR PLAN - PART B
SCALE: 1/8" = 1'-0"

SEE A1.01b
SEE A1.01a

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10 SECOND FLOOR PLAN - PART C
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD.
- B. REFER TO DRAWINGS A2.01 - A2.07 FOR ENLARGED UNIT PLANS BY TYPE AND UNIT INTERIOR SCOPE.
- C. PROVIDE INDIVIDUAL UNIT DEDUCT COST TO REPLACE COMMON AREA DOOR HARDWARE (UNIT ENTRY DOORS INCLUDED) WITH SCHLAGE S SERIES LOCKSETS.
- D. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- E. REMOVE AND LEGALLY DISPOSE OF ALL EXISTING MATERIALS, EQUIPMENT, FURNISHINGS AND COMPONENTS AS REQUIRED TO ALLOW FOR THE PROPER COMPLETION OF THE SCOPE OF WORK.
- F. PROVIDE REQUIRED CONCRETE TO SUPPORT MEP/FP, CIVIL AND LANDSCAPE WORK.
- G. PROVIDE FIRESAFING AT BREACHES IN RATED WALLS AND ASSEMBLIES.
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- K. MODIFY EXISTING LEAN RAIL WITH BLOCKING AND NEW SHELF MOLDING.
- L. PROVIDE ADD ALTERNATE PRICING TO INSTALL 3-1/2" CROWN MOLDING TO CONCEAL NEW FIRE ALARM WIRING, PRIME AND PAINT. REFER TO FIRE ALARM DRAWINGS FOR LOCATIONS.
- M. PREPARE AND REPAIR ALL DAMAGED FINISHES AS AFFECTED BY THE SCOPE OF WORK.
- N. PREPARE EXISTING FLOORS AS REQUIRED TO INSTALL NEW FLOORING MATERIAL.
- O. REPLACE ALL ACOUSTIC CEILING TILES THROUGH OUT BUILDING. PROVIDE DEDUCT ALTERNATE PRICE TO LEAVE EXISTING ACT IN PLACE EXCEPT AT ALZ WING.
- P. PAINT ALL WALLS AND CEILINGS AT EXISTING COMMON AREAS AS WELL AS THOSE AFFECTED BY SCOPE. REFER TO SPECIFICATION FOR FINISH SCHEDULE.
- Q. PROVIDE FIRE RETARDANT WOOD BLOCKING FOR ALL NEW FURNISHINGS, ACCESSORIES AND EQUIPMENT.
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KEY NOTES

- 1. EXISTING DWELLING UNIT. REFER TO ENLARGED UNIT PLANS FOR INTERIOR SCOPE.
- 2. REPLACE EXISTING DOOR HARDWARE WITH SCHLAGE S-SERIES FLAIR LEVERS.
- 3. EXISTING LAUNDRY. PROVIDE AND INSTALL NEW PLAM COUNTERTOP, METAL SUPPORT BRACKETS AND WIRE SHELVING.
- 4. SCRAPE, PRIME AND PAINT TWO COATS AT ALL EXTERIOR WOOD WINDOWS AND DOORS.
- 5. NEW PORT COCHERE. PROVIDE EXCAVATION, CONCRETE AND REINFORCING FOR FOOTINGS, FRAMING, BRICK MASONRY VENEER AND EPDM ROOFING WITH ASSOCIATED FLASHING.
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- 7. NEW MAGI-GLIDE 8-FOLD DOORS WITH ASSOCIATED HARDWARE. REFER TO SPECIFICATION FOR DOOR SCHEDULE.
- 8. NEW 20 MINUTE RATED, SOLID CORE, 6 PANEL WOOD DOOR WITH NEW HARDWARE. REFER TO SPECIFICATION FOR DOOR SCHEDULE.
- 9. NEW INSULATED STEEL DOOR WITH TEMPERED INSULATED GLASS PANELS WITH NEW HARDWARE. REFER TO SPECIFICATION FOR DOOR SCHEDULE.
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- 17. INSTALL NEW VINYL WALLCOVERING. REFER TO SPECIFICATION FOR FINISH SCHEDULE.
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- 19. NEW CLASS A FIRE EXTINGUISHER WITH SEMI-RECESSED CABINET.
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- 26. NEW WOOD DOOR TO MATCH EXISTING HISTORIC ENTRY DOOR.
- 27. TILE TO REMAIN. CABINETS TO BE INSTALLED OVER TILE.

KEY TO SYMBOLS



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 www.architecturalteam.com
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Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: P.H.
 Checked: P.M.
 Scale: AS NOTED
 Key Plan:

Project Name:
LCB Residences at Reading

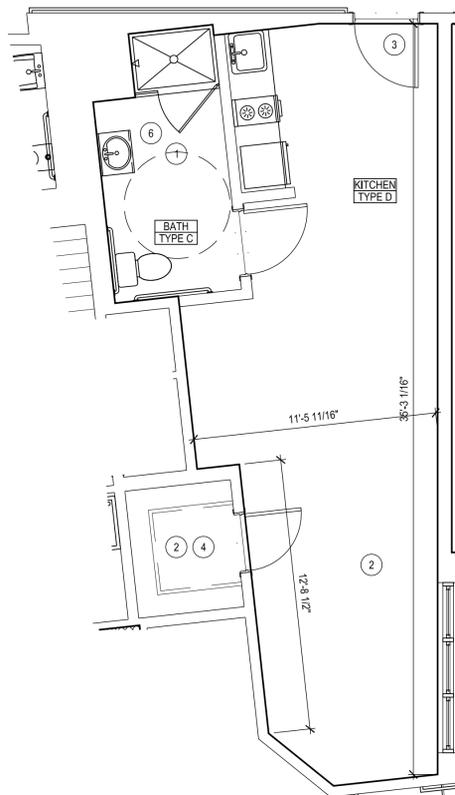
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Project Number:
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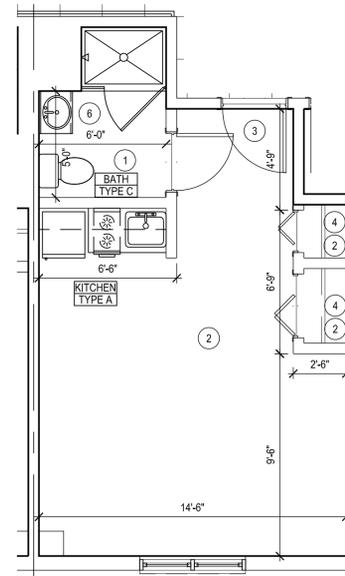
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April 7, 2014

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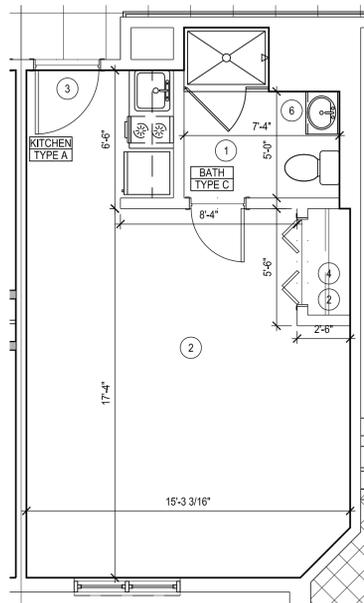


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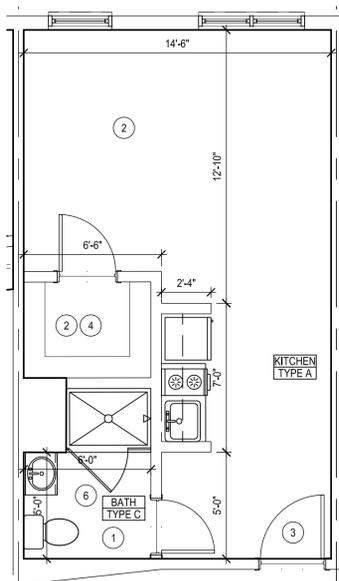
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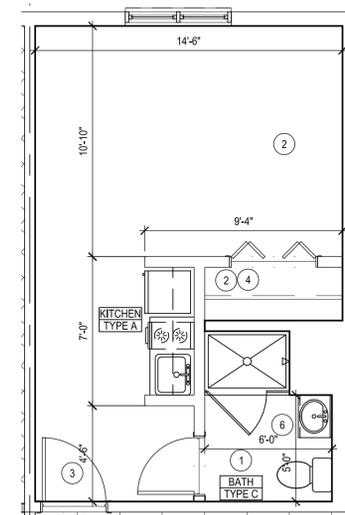
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30 TYPE - C
 SCALE: 1/4" = 1'-0"



20 TYPE - B
 SCALE: 1/4" = 1'-0"



10 TYPE - A
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. DIMENSIONS INDICATED ARE BASED ON TYPICAL CONDITIONS. VERIFY ALL DIMENSIONS IN FIELD.
- B. UNIT PLANS ARE INTENDED TO SHOW THE TYPICAL CONDITION BY UNIT TYPE. VERIFY LOCATION AND HANDING IN FIELD.
- C. REFER TO DRAWINGS A1.01 - A1.03 FOR INDIVIDUAL BUILDING PLANS, UNIT LOCATIONS, AND ADDITIONAL SCOPE.
- D. PAINT ALL WALLS AND CEILINGS INSIDE DWELLING UNITS.
- E. PROVIDE NEW SHEET VINYL FLOOR FINISHES AT BATHROOMS. AT BATHROOMS WHERE VCT OR SHEET VINYL EXISTS, REMOVE EXISTING FLOORING, PREPARE FLOOR TO RECEIVE NEW SHEET VINYL, PROVIDE NEW VINYL COVE BASE AT NEW FLOORING LOCATIONS.
- F. PROVIDE DEDUCT ALTERNATE UNIT PRICE TO INSTALL NEW CARPETING AT LIVING ROOM, BEDROOMS, HALLWAY AND KITCHEN AT UNIT.
- G. PROVIDE DEDUCT ALTERNATE UNIT PRICE TO INSTALL NEW PAINT AT ENTIRE UNIT, WALLS AND CEILINGS.
- H. REMOVE EXISTING AND PROVIDE NEW 1" HORIZONTAL MINI-BLINDS AT ALL DWELLING UNIT WINDOWS.
- I. REFER TO A7.01 FOR KITCHEN ELEVATIONS AND SCOPE.
- J. REFER TO A7.21 FOR BATHROOM ELEVATIONS AND SCOPE.
- K. REFER TO SPECIFICATIONS FOR FINISH SCHEDULE.
- L. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION AND SCOPE.
- M. PATCH AND REPAIR WALLS AND CEILINGS WHERE REQUIRED THROUGHOUT DWELLING UNITS.
- N. PROVIDE NEW JOINT SEALANTS ALONG THE INTERIOR AND EXTERIOR OF ALL EXISTING AND PROPOSED OPENINGS AROUND THE ENTIRE BUILDING.
- O. PROVIDE NEW JOINT SEALANTS WHERE DISSIMILAR MATERIALS (EXISTING OR PROPOSED) CONNECT.
- P. PROVIDE FIRESAFING AT BREACHES IN RATED WALLS AND ASSEMBLIES.
- Q. PROVIDE DEDUCT ALTERNATE UNIT PRICES FOR COMPLETE KITCHEN REPLACEMENT AND COMPLETE BATHROOM REPLACEMENT.
- R. PROVIDE UNIT COST FOR INTERIOR UNIT DOOR HARDWARE REPLACEMENT.
- S. DO NOT INSTALL COOKTOP AT ALZ UNITS. PROVIDE POWER FOR FUTURE CONNECTION.

KEY NOTES

- 1. NEW SHEET VINYL FLOORING. REFER TO GENERAL NOTE E FOR SPECIFIC INSTALLATION REQUIREMENTS.
- 2. NEW CARPET. REMOVE EXISTING, PREPARE FLOOR AND INSTALL NEW SPECIFIED CARPET.
- 3. NEW UNIT HARDWARE, SCHLAGE S-SERIES FLAIR LOCKSETS.
- 4. NEW WIRE CLOSET SHELVING, AT LOCATIONS GREATER THAN 4'-0" IN LENGTH PROVIDE ADDITIONAL SHELVING SUPPORT SO THAT NO SHELVES ARE UNSUPPORTED FOR MORE THAN 4'-0" HORIZONTALLY PER MATRIX.
- 5. REMOVE EXISTING SECTION OF WALL. PATCH AND PAINT.
- 6. MECHANICAL AND PLUMBING EQUIPMENT. REFER TO MECHANICAL AND PLUMBING DRAWINGS.

KEY TO SYMBOLS

- PROPOSED WALL
- EXISTING WALL TO REMAIN
- XXX DOOR TYPE. REFER TO SPECIFICATIONS FOR DOOR SCHEDULE
- NEW CONTINUOUS SHEET VINYL FLOORING. REFER TO FINISH SCHEDULE. REFER TO UNIT REPAIR MATRIX FOR SPECIFIC REPLACEMENT LOCATIONS.
- NEW CARPET. REFER TO FINISH SCHEDULE. REFER TO UNIT MATRIX FOR SPECIFIC REPLACEMENT LOCATIONS.
- ETR^{SV} — FLOORING TRANSITION

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: DQ

Checked: PM

Scale: 1/4" = 1'-0"

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

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Project Number:

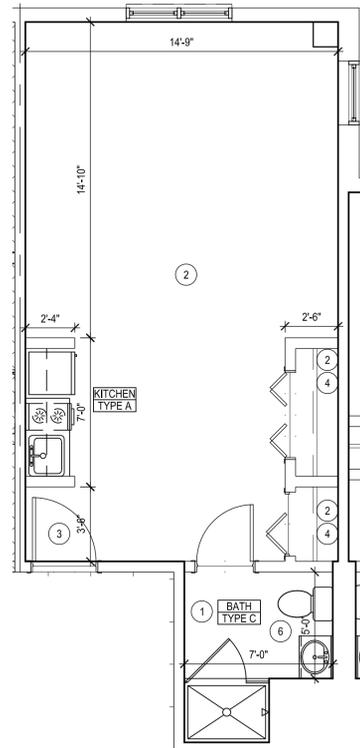
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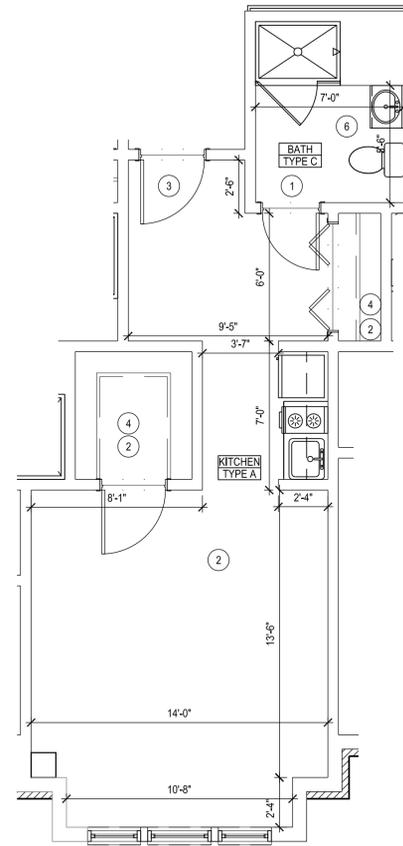
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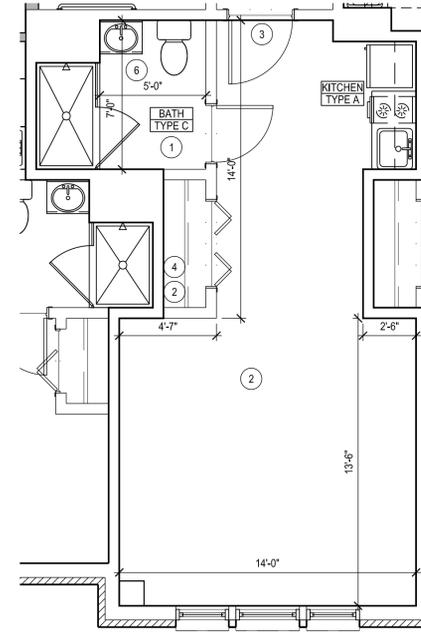
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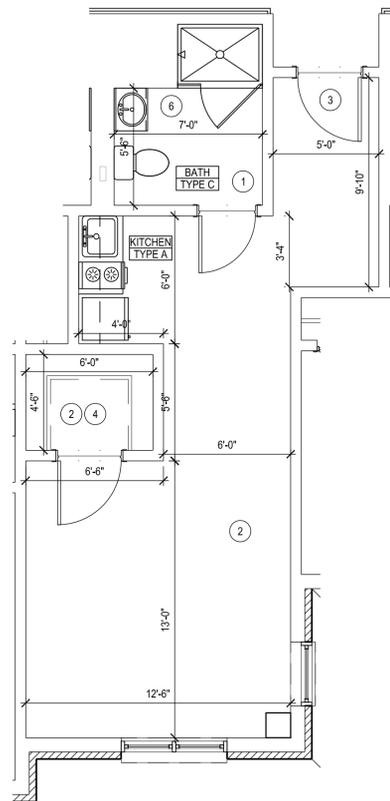
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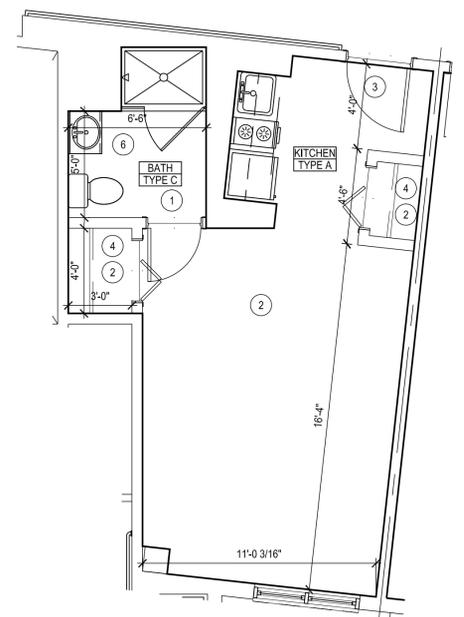
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30 TYPE - I
 SCALE: 1/4" = 1'-0"



20 TYPE - H (REFER TO PROPOSED)
 SCALE: 1/4" = 1'-0"



10 TYPE - G
 SCALE: 1/4" = 1'-0"

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- D. PAINT ALL WALLS AND CEILINGS INSIDE DWELLING UNITS.
- E. PROVIDE NEW SHEET VINYL FLOOR FINISHES AT BATHROOMS. AT BATHROOMS WHERE VCT OR SHEET VINYL EXISTS, REMOVE EXISTING FLOORING, PREPARE FLOOR TO RECEIVE NEW SHEET VINYL, PROVIDE NEW VINYL COVE BASE AT NEW FLOORING LOCATIONS.
- F. PROVIDE DEDUCT ALTERNATE UNIT PRICE TO INSTALL NEW CARPETING AT LIVING ROOM, BEDROOMS, HALLWAY AND KITCHEN AT UNIT.
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- H. REMOVE EXISTING AND PROVIDE NEW 1" HORIZONTAL MINI-BLINDS AT ALL DWELLING UNIT WINDOWS.
- I. REFER TO A7.01 FOR KITCHEN ELEVATIONS AND SCOPE.
- J. REFER TO A7.21 FOR BATHROOM ELEVATIONS AND SCOPE.
- K. REFER TO SPECIFICATIONS FOR FINISH SCHEDULE.
- L. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION AND SCOPE.
- M. PATCH AND REPAIR WALLS AND CEILINGS WHERE REQUIRED THROUGHOUT DWELLING UNITS.
- N. PROVIDE NEW JOINT SEALANTS ALONG THE INTERIOR AND EXTERIOR OF ALL EXISTING AND PROPOSED OPENINGS AROUND THE ENTIRE BUILDING.
- O. PROVIDE NEW JOINT SEALANTS WHERE DISSIMILAR MATERIALS (EXISTING OR PROPOSED) CONNECT.
- P. PROVIDE FIRESAFING AT BREACHES IN RATED WALLS AND ASSEMBLIES.
- Q. PROVIDE DEDUCT ALTERNATE UNIT PRICES FOR COMPLETE KITCHEN REPLACEMENT AND COMPLETE BATHROOM REPLACEMENT.
- R. PROVIDE UNIT COST FOR INTERIOR UNIT DOOR HARDWARE REPLACEMENT.
- S. DO NOT INSTALL COOKTOP AT ALZ UNITS. PROVIDE POWER FOR FUTURE CONNECTION.

KEY NOTES

- 1. NEW SHEET VINYL FLOORING. REFER TO GENERAL NOTE E FOR SPECIFIC INSTALLATION REQUIREMENTS.
- 2. NEW CARPET. REMOVE EXISTING, PREPARE FLOOR AND INSTALL NEW SPECIFIED CARPET.
- 3. NEW UNIT HARDWARE, SCHLAGE S-SERIES FLAIR LOCKSETS.
- 4. NEW WIRE CLOSET SHELVING. AT LOCATIONS GREATER THAN 4'-0" IN LENGTH PROVIDE ADDITIONAL SHELVING SUPPORT SO THAT NO SHELVES ARE UNSUPPORTED FOR MORE THAN 4'-0" HORIZONTALLY PER MATRIX.
- 5. REMOVE EXISTING SECTION OF WALL. PATCH AND PAINT.
- 6. MECHANICAL AND PLUMBING EQUIPMENT. REFER TO MECHANICAL AND PLUMBING DRAWINGS.

KEY TO SYMBOLS

- PROPOSED WALL
- EXISTING WALL TO REMAIN
- XXX DOOR TYPE. REFER TO SPECIFICATIONS FOR DOOR SCHEDULE
- NEW CONTINUOUS SHEET VINYL FLOORING. REFER TO FINISH SCHEDULE. REFER TO UNIT REPAIR MATRIX FOR SPECIFIC REPLACEMENT LOCATIONS.
- NEW CARPET. REFER TO FINISH SCHEDULE. REFER TO UNIT MATRIX FOR SPECIFIC REPLACEMENT LOCATIONS.
- ETR SV — FLOORING TRANSITION

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: DQ

Checked: PM

Scale: 1/4" = 1'-0"

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

ENLARGED UNIT PLANS

Project Number:

14032

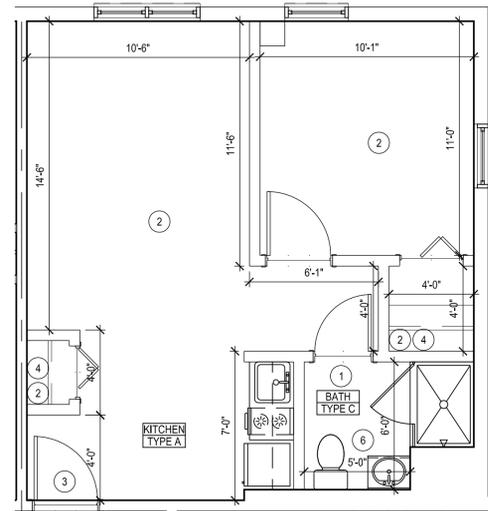
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April 7, 2014

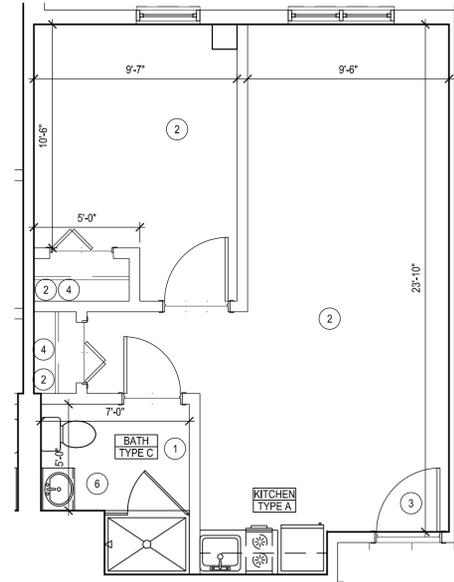
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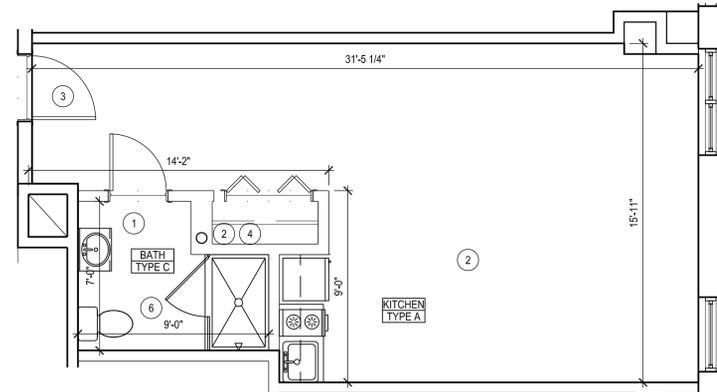
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31 TYPE - R
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21 TYPE - Q
 SCALE: 1/4" = 1'-0"



11 TYPE - P
 SCALE: 1/4" = 1'-0"

GENERAL NOTES

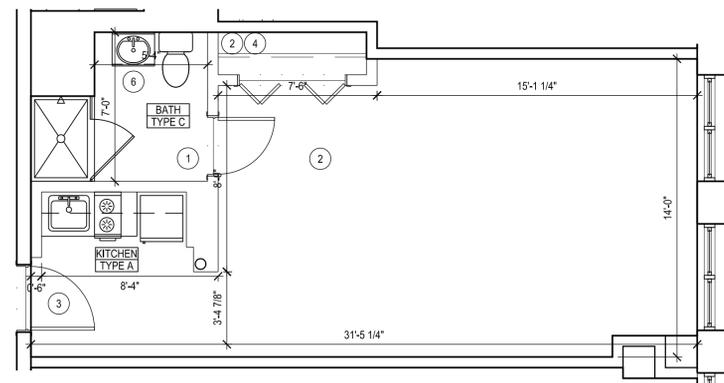
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KEY NOTES

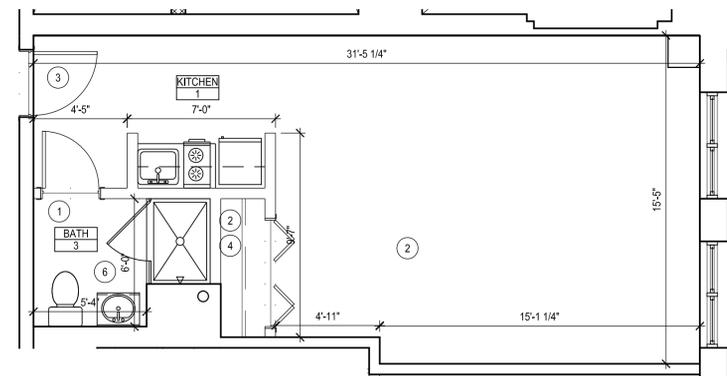
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KEY TO SYMBOLS

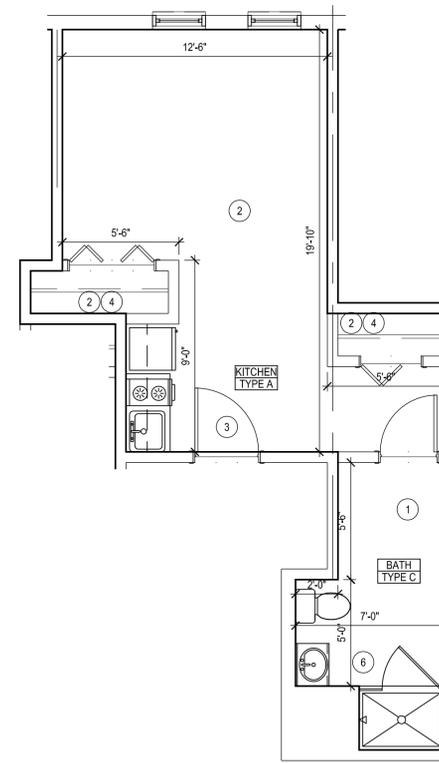
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- ETR^{SV} — FLOORING TRANSITION



20 TYPE - O
 SCALE: 1/4" = 1'-0"



20 TYPE - N
 SCALE: 1/4" = 1'-0"



10 TYPE - M
 SCALE: 1/4" = 1'-0"

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: DQ

Checked: PM

Scale: 1/4" = 1'-0"

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

ENLARGED UNIT PLANS

Project Number:

14032

Issue Date:

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Sheet Number:

A2.03

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: DQ

Checked: PM

Scale: 1/4" = 1'-0"

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

ENLARGED UNIT PLANS

Project Number:

14032

Issue Date:

April 7, 2014

Sheet Number:

A2.04

GENERAL NOTES

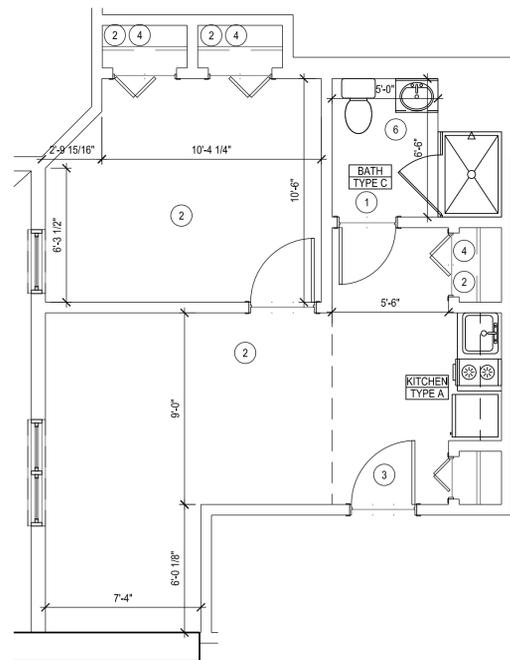
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KEY NOTES

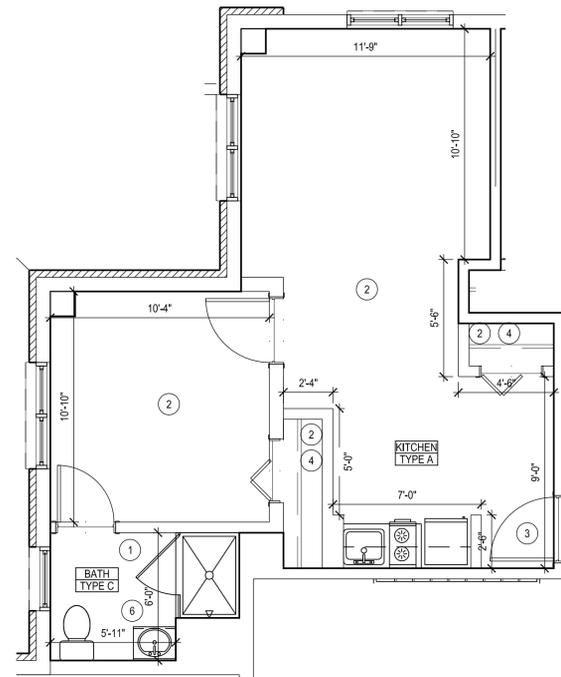
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KEY TO SYMBOLS

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- ETR SV — FLOORING TRANSITION

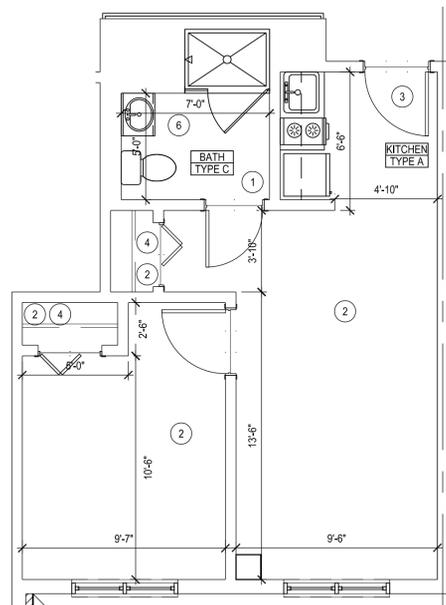


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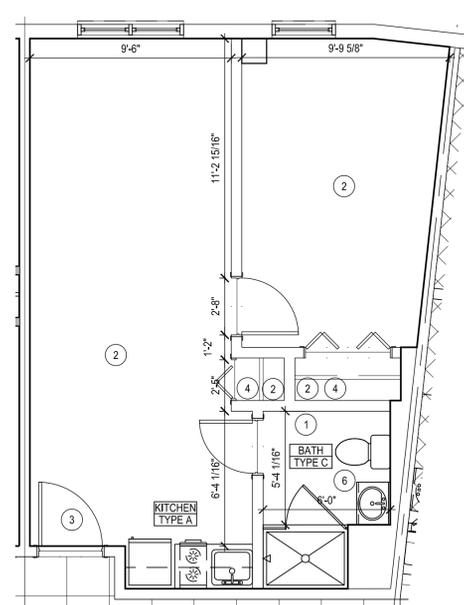


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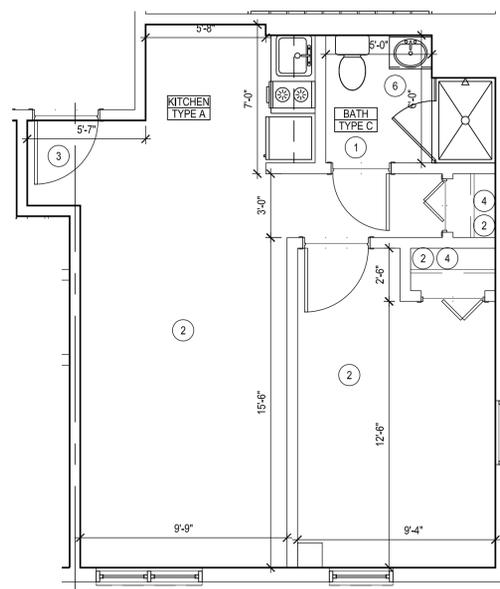
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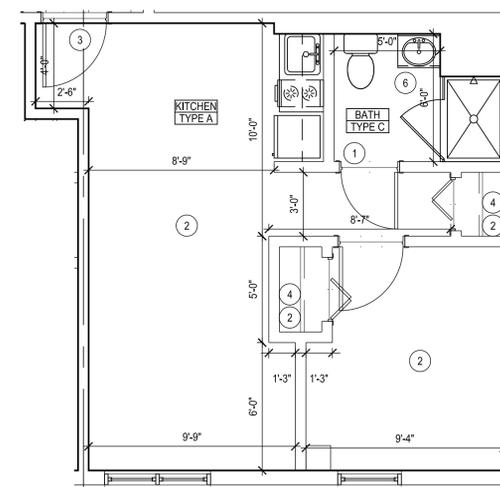
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SCALE: 1/4" = 1'-0"



20 TYPE - T
SCALE: 1/4" = 1'-0"



10 TYPE - S
SCALE: 1/4" = 1'-0"

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: DQ

Checked: PM

Scale: 1/4" = 1'-0"

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

ENLARGED UNIT PLANS

Project Number:

14032

Issue Date:

April 7, 2014

Sheet Number:

A2.06

GENERAL NOTES

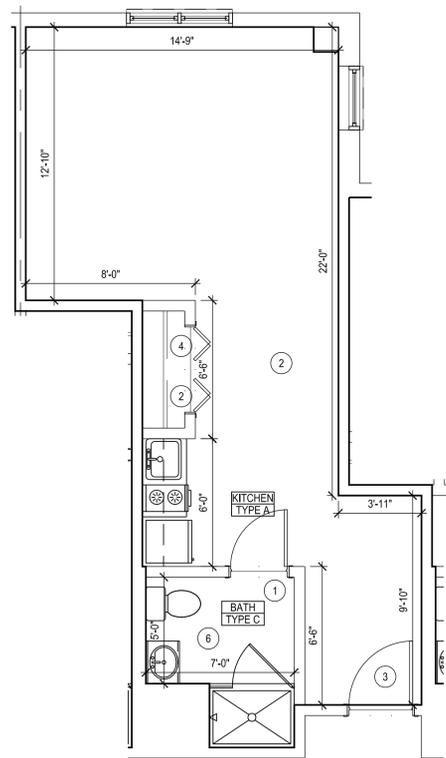
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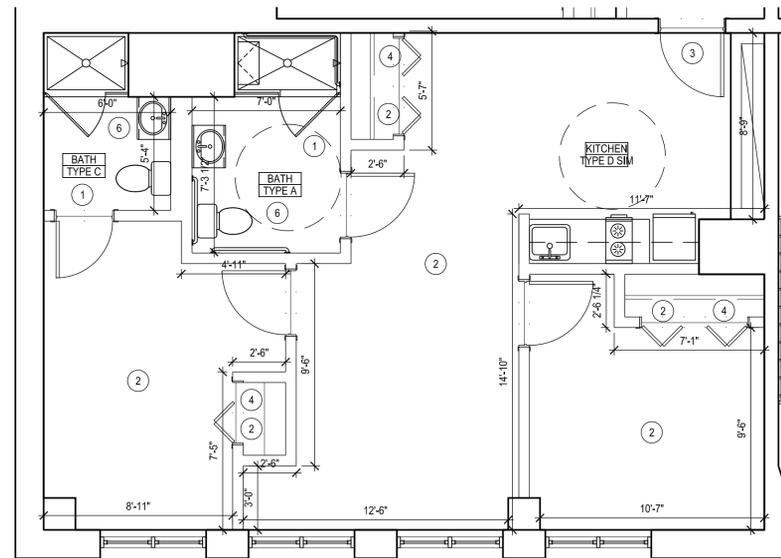
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KEY TO SYMBOLS

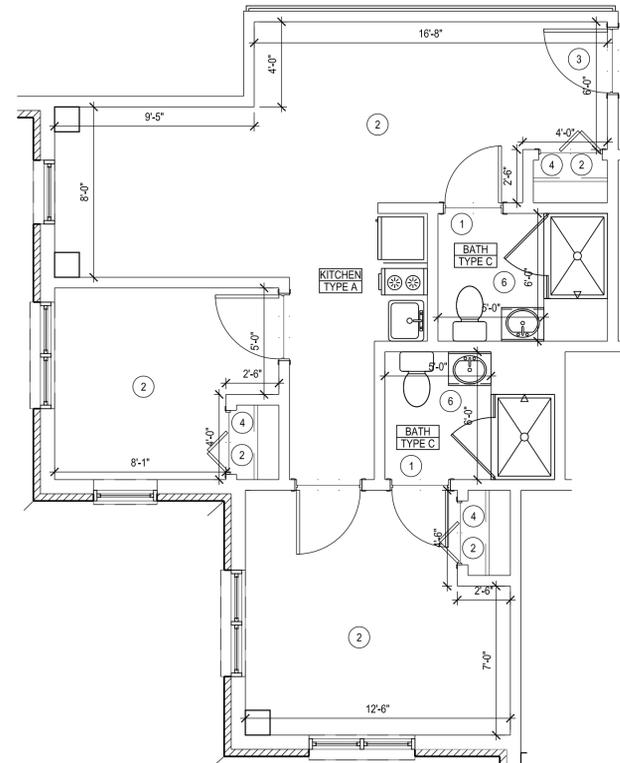
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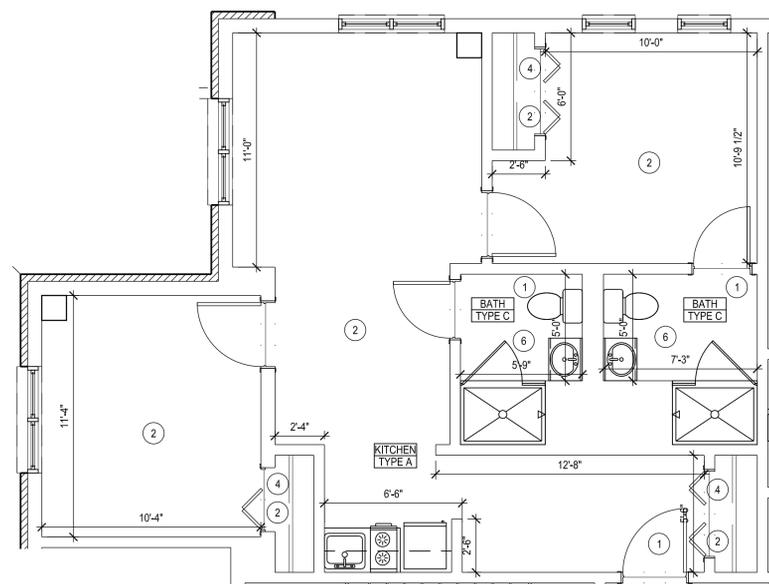
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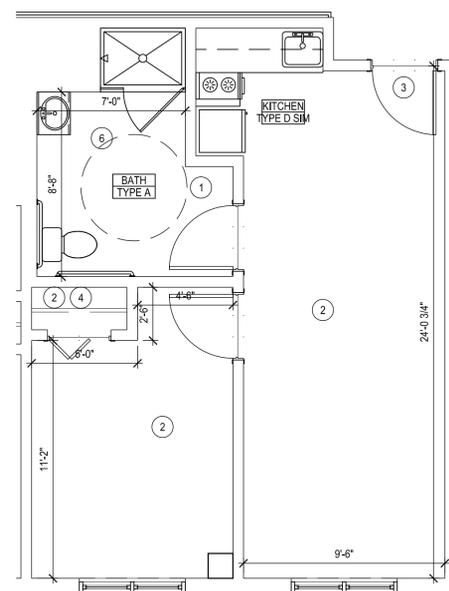
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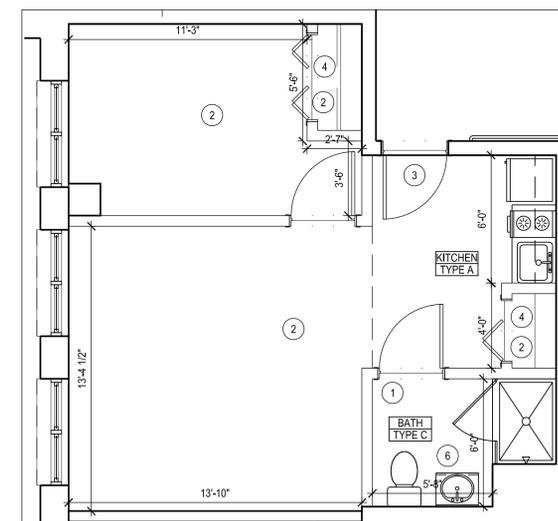
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SCALE: 1/4" = 1'-0"

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: DQ

Checked: PM

Scale: 1/4" = 1'-0"

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

PROPOSED UNIT PLANS

Project Number:

14032

Issue Date:

April 7, 2014

Sheet Number:

A2.07

GENERAL NOTES

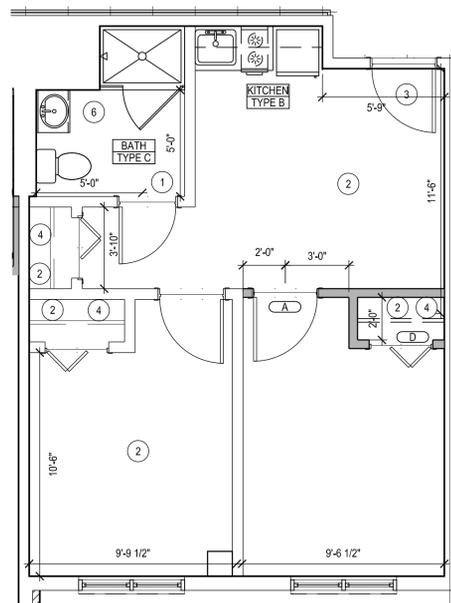
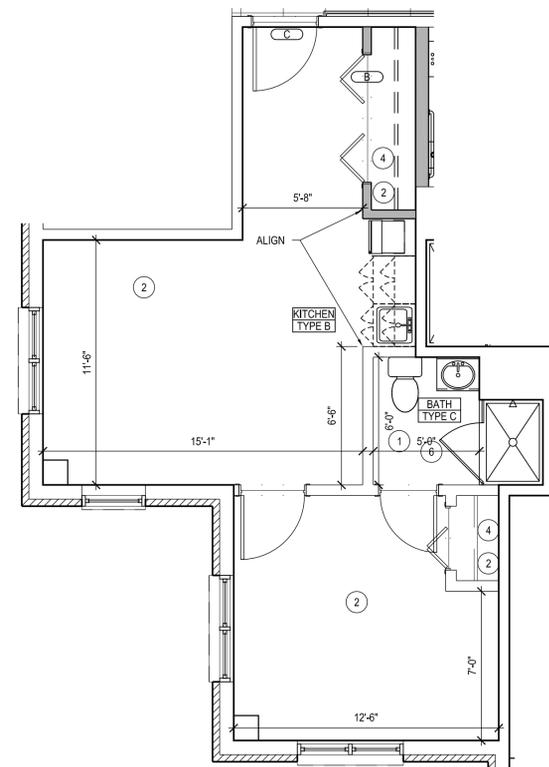
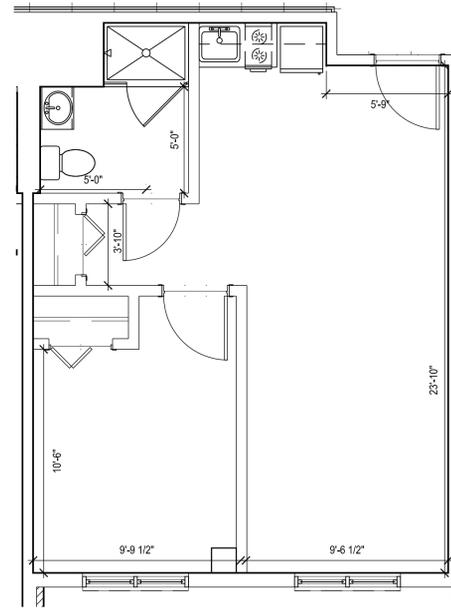
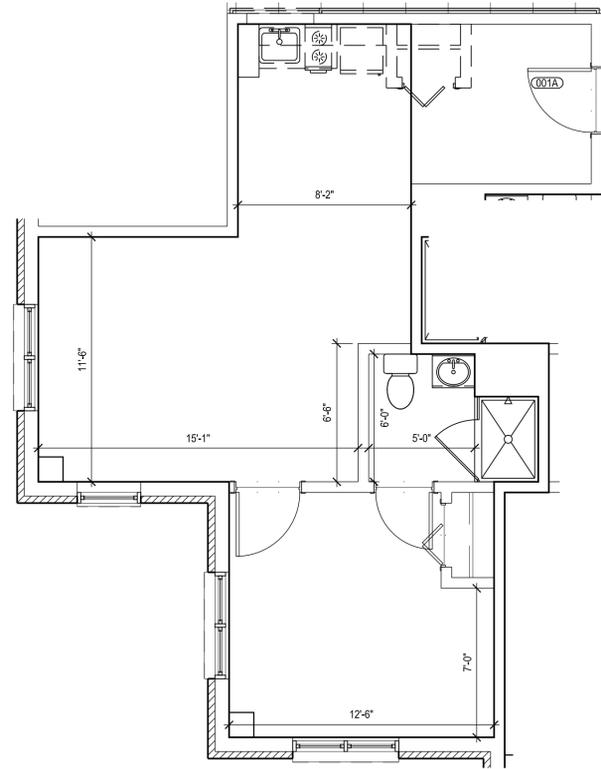
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Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: DQ

Checked: PM

Scale: 1/4" = 1'-0"

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

PROPOSED UNIT PLANS

Project Number:

14032

Issue Date:

April 7, 2014

Sheet Number:

A2.08

GENERAL NOTES

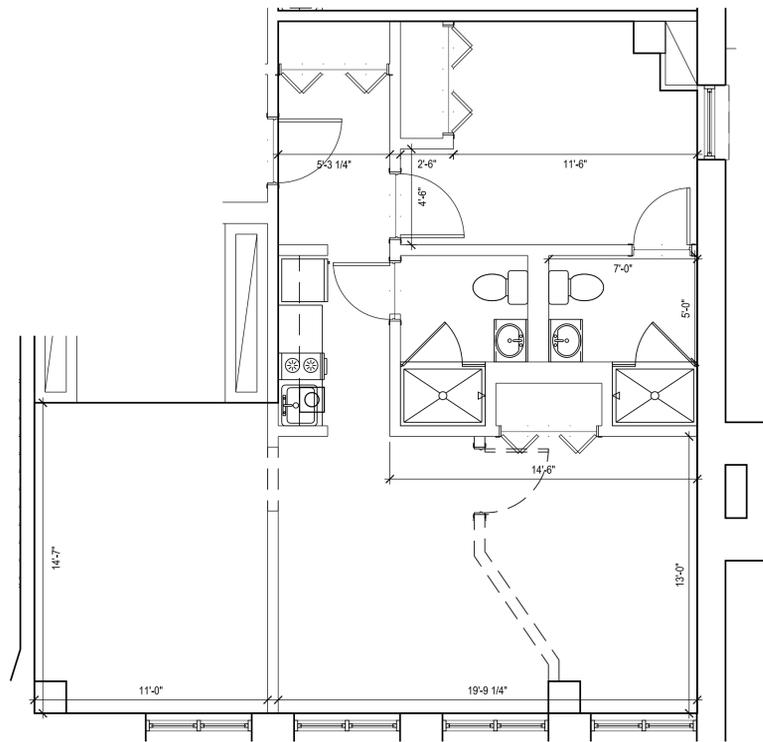
- A. DIMENSIONS INDICATED ARE BASED ON TYPICAL CONDITIONS. VERIFY ALL DIMENSIONS IN FIELD.
- B. UNIT PLANS ARE INTENDED TO SHOW THE TYPICAL CONDITION BY UNIT TYPE. VERIFY LOCATION AND HANDING IN FIELD.
- C. REFER TO DRAWINGS A1.01 - A1.03 FOR INDIVIDUAL BUILDING PLANS, UNIT LOCATIONS, AND ADDITIONAL SCOPE.
- D. PAINT ALL WALLS AND CEILINGS INSIDE DWELLING UNITS.
- E. PROVIDE NEW SHEET VINYL FLOOR FINISHES AT BATHROOMS. AT BATHROOMS WHERE VCT OR SHEET VINYL EXISTS, REMOVE EXISTING FLOORING, PREPARE FLOOR TO RECEIVE NEW SHEET VINYL, PROVIDE NEW VINYL COVE BASE AT NEW FLOORING LOCATIONS.
- F. PROVIDE DEDUCT ALTERNATE UNIT PRICE TO INSTALL NEW CARPETING AT LIVING ROOM, BEDROOMS, HALLWAY AND KITCHEN AT UNIT.
- G. PROVIDE DEDUCT ALTERNATE UNIT PRICE TO INSTALL NEW PAINT AT ENTIRE UNIT, WALLS AND CEILINGS.
- H. REMOVE EXISTING AND PROVIDE NEW 1" HORIZONTAL MINI-BLINDS AT ALL DWELLING UNIT WINDOWS.
- I. REFER TO A7.01 FOR KITCHEN ELEVATIONS AND SCOPE.
- J. REFER TO A7.21 FOR BATHROOM ELEVATIONS AND SCOPE.
- K. REFER TO SPECIFICATIONS FOR FINISH SCHEDULE.
- L. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION AND SCOPE.
- M. PATCH AND REPAIR WALLS AND CEILINGS WHERE REQUIRED THROUGHOUT DWELLING UNITS.
- N. PROVIDE NEW JOINT SEALANTS ALONG THE INTERIOR AND EXTERIOR OF ALL EXISTING AND PROPOSED OPENINGS AROUND THE ENTIRE BUILDING.
- O. PROVIDE NEW JOINT SEALANTS WHERE DISSIMILAR MATERIALS (EXISTING OR PROPOSED) CONNECT.
- P. PROVIDE FIRESAFING AT BREACHES IN RATED WALLS AND ASSEMBLIES.
- Q. PROVIDE DEDUCT ALTERNATE UNIT PRICES FOR COMPLETE KITCHEN REPLACEMENT AND COMPLETE BATHROOM REPLACEMENT.
- R. PROVIDE UNIT COST FOR INTERIOR UNIT DOOR HARDWARE REPLACEMENT.
- S. DO NOT INSTALL COOKTOP AT ALZ UNITS. PROVIDE POWER FOR FUTURE CONNECTION.

KEY NOTES

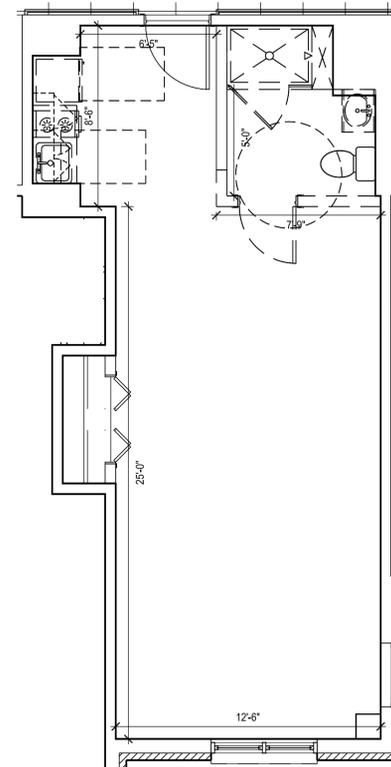
- 1. NEW SHEET VINYL FLOORING. REFER TO GENERAL NOTE E FOR SPECIFIC INSTALLATION REQUIREMENTS.
- 2. NEW CARPET. REMOVE EXISTING, PREPARE FLOOR AND INSTALL NEW SPECIFIED CARPET.
- 3. NEW UNIT HARDWARE, SCHLAGE S-SERIES FLAIR LOCKSETS.
- 4. NEW WIRE CLOSET SHELVING, AT LOCATIONS GREATER THAN 4'-0" IN LENGTH PROVIDE ADDITIONAL SHELVING SUPPORT SO THAT NO SHELVES ARE UNSUPPORTED FOR MORE THAN 4'-0" HORIZONTALLY PER MATRIX.
- 5. REMOVE EXISTING SECTION OF WALL. PATCH AND PAINT.
- 6. MECHANICAL AND PLUMBING EQUIPMENT. REFER TO MECHANICAL AND PLUMBING DRAWINGS.

KEY TO SYMBOLS

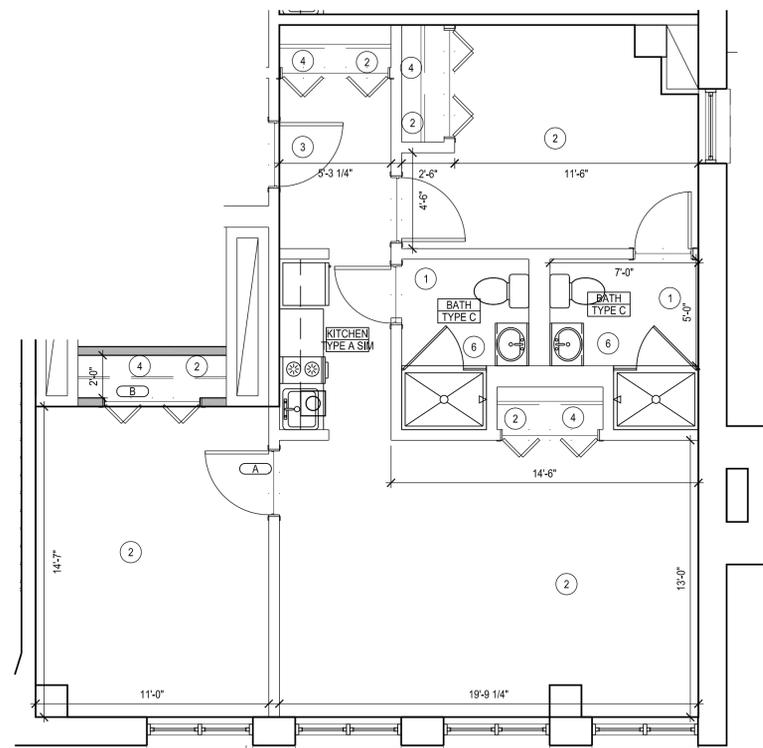
- PROPOSED WALL
- EXISTING WALL TO REMAIN
- XXX DOOR TYPE. REFER TO SPECIFICATIONS FOR DOOR SCHEDULE
- NEW CONTINUOUS SHEET VINYL FLOORING. REFER TO FINISH SCHEDULE. REFER TO UNIT REPAIR MATRIX FOR SPECIFIC REPLACEMENT LOCATIONS.
- NEW CARPET. REFER TO FINISH SCHEDULE. REFER TO UNIT MATRIX FOR SPECIFIC REPLACEMENT LOCATIONS.
- ETR^{SV} — FLOORING TRANSITION



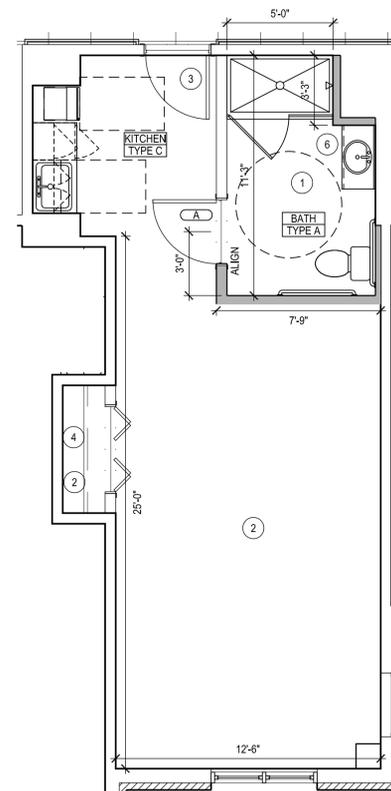
21 EXISTING UNIT (TYPE MM)
SCALE: 1/4" = 1'-0"



11 EXISTING UNIT (TYPE H)
SCALE: 1/4" = 1'-0"



20 PROPOSED UNIT (TYPE MM)
SCALE: 1/4" = 1'-0"



10 PROPOSED UNIT (TYPE H)
SCALE: 1/4" = 1'-0"

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: DQ

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Scale: 1 1/2" = 1'-0"

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

WALL ASSEMBLIES

Project Number:

14032

Issue Date:

April 7, 2014

Sheet Number:

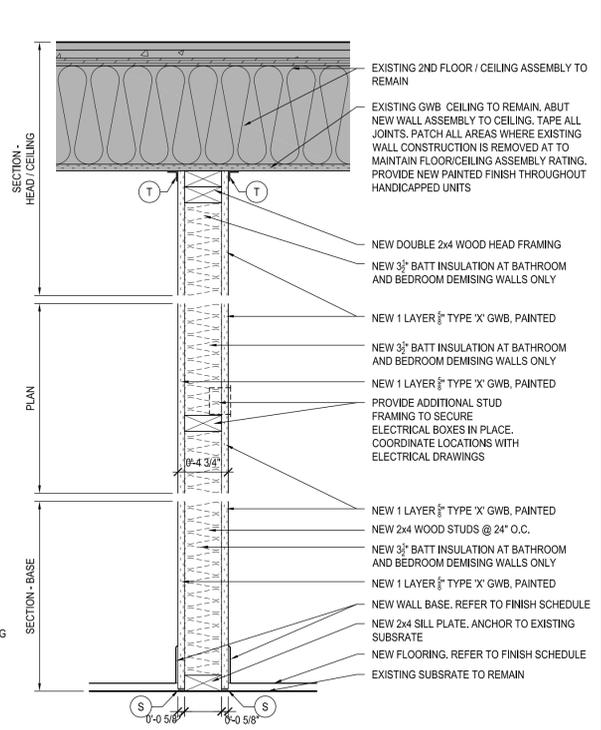
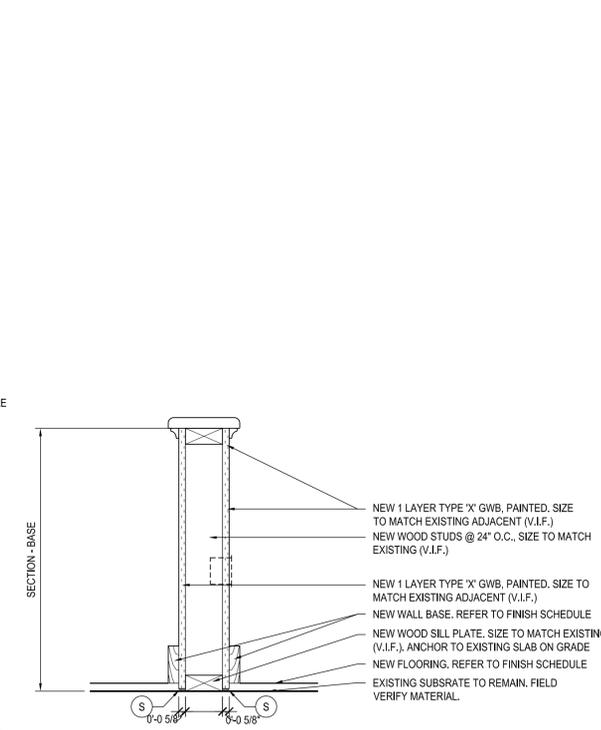
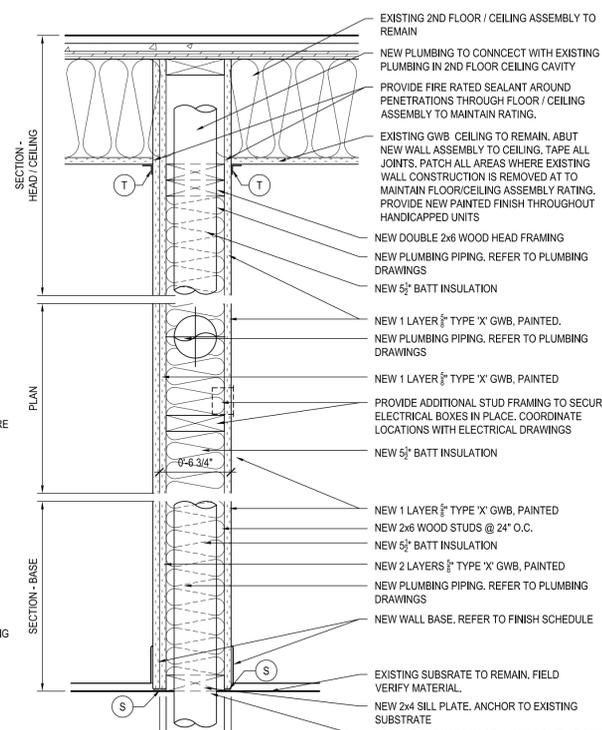
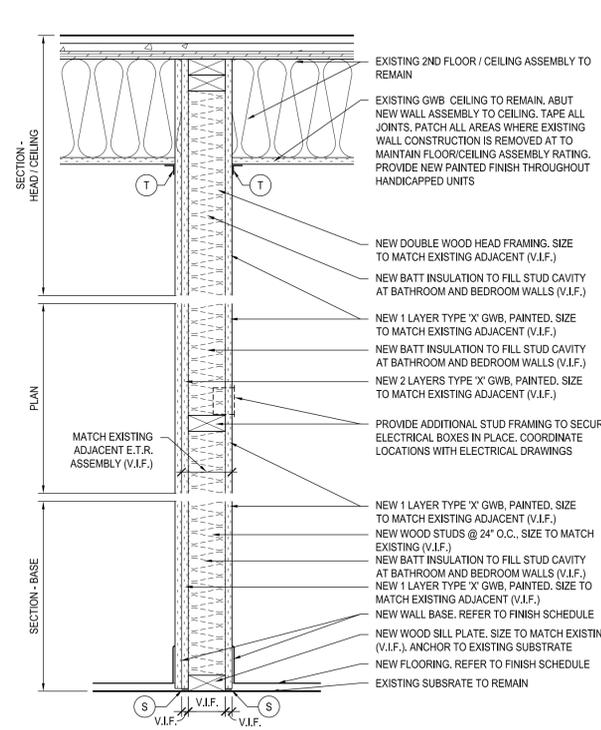
A3.01

GENERAL NOTES

- A. VERIFY ALL DIMENSIONS IN FIELD.
- B. REFER TO FINISH SCHEDULE FOR ADDITIONAL SURFACE FINISH MATERIALS AT WALL TYPES. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL BLOCKING WITHIN A GIVEN WALL TYPE TO ACCOMMODATE SURFACE FINISH MATERIALS, CABINETRY, ACCESSORIES, ETC.
- C. STAGGER ALL JOINTS IN GWB ASSEMBLIES.
- D. PLACE INSULATION IN ACTIVE SIDE OF CHASE / PLUMBING WALLS.
- E. ALL NEW PIPING SHALL BE PLACED ON WARM SIDE OF CHASE WALLS ADJACENT TO UNHEATED SPACES.
- F. PROVIDE PAPERLESS TYPE X GWB AT ALL NEW BATHROOM AND WALLS AND CEILINGS AS WELL AS KITCHEN WET WALLS AND KITCHEN CEILINGS.
- G. FIRE STOP ALL NEW AND EXISTING PENETRATIONS WHERE EXPOSED DURING CONSTRUCTION.
- H. PROVIDE BLOCKING AS REQUIRED FOR NEW KITCHEN CABINETS AND COUNTERTOP, BATHROOM FIXTURES, ACCESSORIES, AND GRAB BARS.
- I. REFER TO DRAWING A3.11 FOR AIR SEALING AND INSULATION DETAILS.

KEY TO SYMBOLS

- (T) TAPE ALL GWB JOINTS
- (S) SEALANT. REFER TO SPECIFICATIONS



DOOR SCHEDULE - LCB Residences at Reading

Door Number	Identification	Door										Hardware Set			
		Size			Material	Elevation	Finish	Glass	Fire Label	Frame					
		Width	Height	Thick						Material	Elevation		Head	Jamb	Sill
A	Unit Entry	3'-0"	6'-8"	1 3/4"	IM	A	PTD	N/A	20	KD	1	41	40	31	
B	Bedroom	3'-0"	6'-8"	1 3/8"	PHW	B	PTD	N/A	-	WD	2	11	11	30	
C	Closet	3'-0"	6'-8"	1 3/8"	PHW	D	PTD	N/A	-	WD	2	11	11	30	
D	Double Closet	(2)3'-0"	6'-8"	1 3/8"	PHW	E	PTD	N/A	-	WD	2	11	11	30	
EX-01	Day Room	3'-0"	6'-8"	1 3/4"	WD	F	PTD	TIG	-	KD	1	21	20	10	
EX-02	Activity Room	3'-0"	6'-8"	1 3/4"	WD	F	PTD	TIG	-	KD	1	21	20	10	
EX-03	Vestibule	(2)3'-0"	6'-8"	1 3/4"	WD	*	PTD	TIG	-	WD	2	11	11	31	
001A	Restroom	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	-	KD	1	41	40	30	
002A	Activity Room	3'-0"	6'-8"	1 3/4"	WD	F	PTD	TG	-	WD	2	11	11	31	
003A	Closet	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	-	KD	1	41	40	31	
004A	Vestibule	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	45	KD	1	41	40	31	
005A	Stair	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	45	KD	1	41	40	31	
101A	Trash	3'-0"	6'-8"	1 3/4"	HM	C	PTD	N/A	20	KD	1	41	40	30	
102A	Spa	3'-0"	6'-8"	1 3/4"	WD	F	PTD	TG	-	WD	2	11	11	30	
103A	Restroom	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	-	KD	1	41	40	30	
103B	Restroom	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	-	KD	1	41	40	30	
104A	Office	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	-	KD	1	41	40	31	
104B	Office	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	-	KD	1	41	40	31	
104C	Office	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	-	KD	1	41	40	31	
104D	Office	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	-	KD	1	41	40	31	
104E	Office	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	-	KD	1	41	40	31	
105A	Administration	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	-	KD	1	41	40	31	
106A	Private Dining	(2)3'-0"	6'-8"	1 3/4"	WD	F	PTD	TG	-	WD	2	11	11	30	
106B	Private Dining	(2)3'-0"	6'-8"	1 3/4"	WD	F	PTD	TG	-	WD	2	11	11	30	
106C	Prep	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	-	KD	1	41	40	31	
106D	Storage	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	-	KD	1	41	40	31	
107A	Media	3'-0"	6'-8"	1 3/4"	WDP	B	PTD	N/A	-	KD	1	41	40	31	
201A	Trash	3'-0"	6'-8"	1 3/4"	HM	C	PTD	N/A	20	KD	1	41	40	30	
202A	Storage	3'-0"	6'-8"	1 3/4"	HM	C	PTD	N/A	20	KD	1	41	40	31	

GENERAL NOTES

- VERIFY ALL DIMENSIONS, CONDITIONS, AND DOOR OPERATION IN FIELD.
- REMOVE EXISTING & PROVIDE NEW RESIDENTIAL UNIT ENTRY DOOR & HARDWARE IN EXISTING FRAMES THROUGHOUT.
- REFER TO UNIT REPAIR MATRIX FOR LOCATIONS FOR RESIDENTIAL UNIT PASSAGE AND CLOSET SWING DOOR REPLACEMENT. PROVIDE NEW PASSAGE AND CLOSET DOORS AT ALL LOCATIONS WITHIN HANDICAPPED UNITS.
- REPLACE EXISTING BIFOLD DOORS WITH NEW BIFOLD DOORS AT LOCATIONS INDICATED IN UNIT REPAIR MATRIX.
- REMOVE EXISTING EXTERIOR STORM DOORS AT UNIT ENTRIES THROUGHOUT PROPERTY WHENEVER THEY EXIST. REFER TO UNIT REPAIR MATRIX FOR LOCATIONS.
- REFER TO SPECIFICATIONS FOR DOOR SCHEDULE, HARDWARE SCHEDULE AND FINISH SCHEDULE.
- REFER TO FLOOR PLANS FOR LOCATION AND HANDING OF EACH DOOR.
- REFER TO DRAWING A3.11 FOR AIR SEALING DETAILS.



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75 PEARL STREET

Sheet Name:

DOOR ELEVATIONS, DETAILS AND SCHEDULE

Project Number:

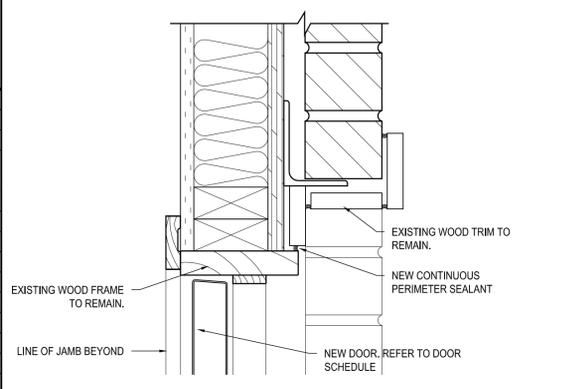
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Issue Date:

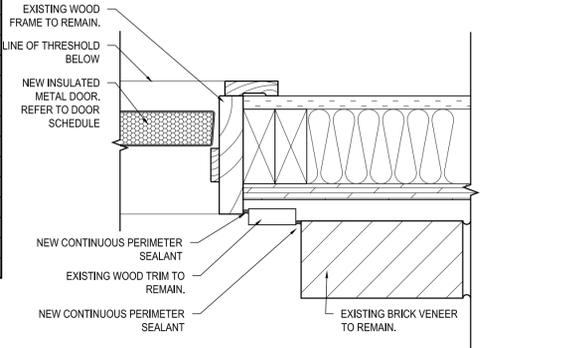
April 7, 2014

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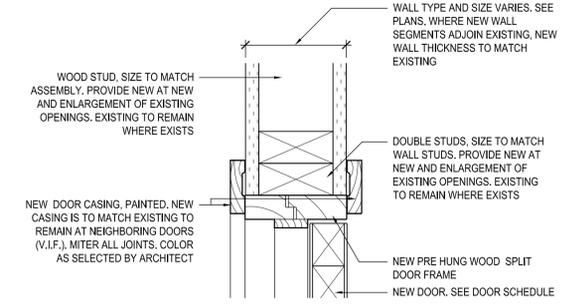
A3.20



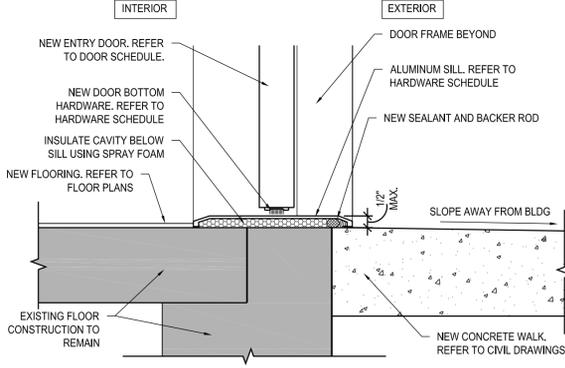
21 HEAD AT EXTERIOR DOOR - BRICK
 SCALE: 3" = 1'-0"



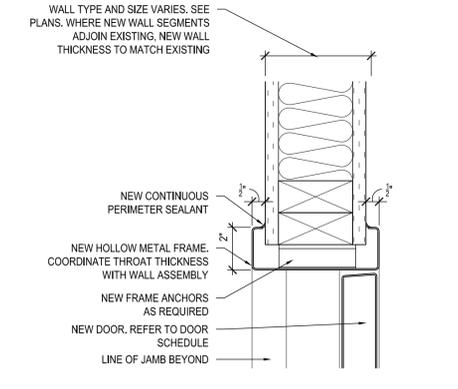
20 JAMB AT EXTERIOR DOOR - BRICK
 SCALE: 3" = 1'-0"



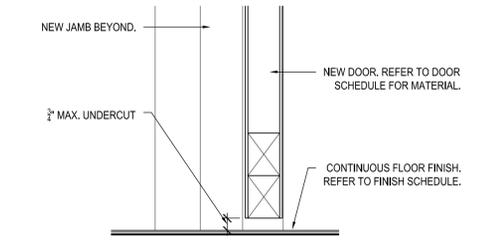
11 JAMB AND HEAD @ INTERIOR PH WOOD DOOR
 SCALE: 3" = 1'-0"



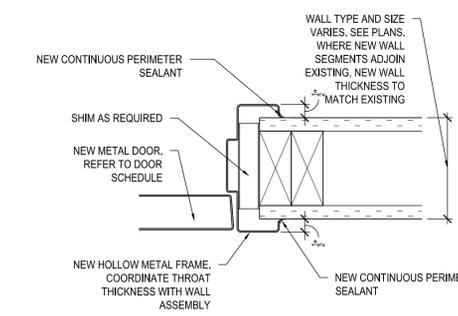
10 THRESHOLD AT EXTERIOR ENTRY DOOR
 SCALE: 3" = 1'-0"



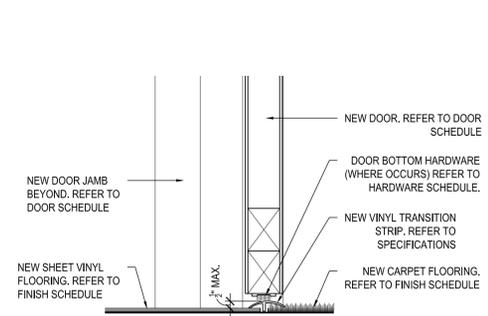
41 HEAD AT INTERIOR DOOR
 SCALE: 3" = 1'-0"



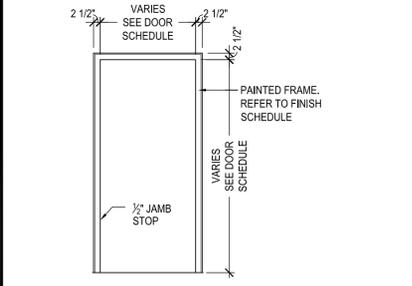
31 THRESHOLD @ CONTINUOUS FLOOR FINISH
 SCALE: 3" = 1'-0"



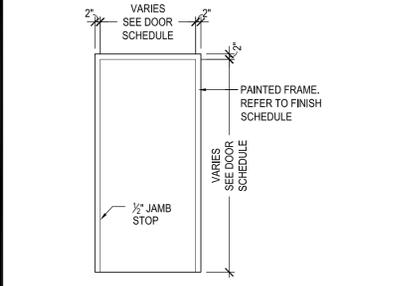
40 JAMB AT INTERIOR DOOR
 SCALE: 3" = 1'-0"



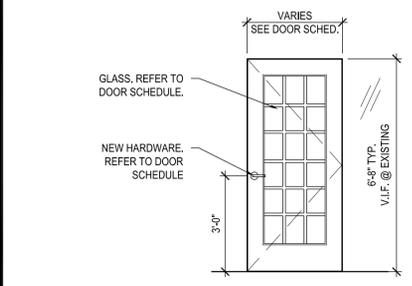
30 THRESHOLD @ CARPET / SHEET VINYL
 SCALE: 3" = 1'-0"



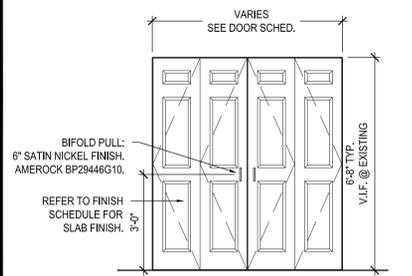
2 WOOD FRAME
 SCALE: 3/8" = 1'-0"



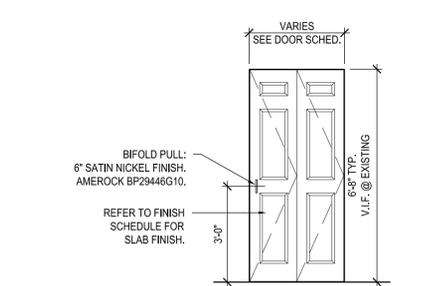
1 KNOCK DOWN METAL FRAME
 SCALE: 3/8" = 1'-0"



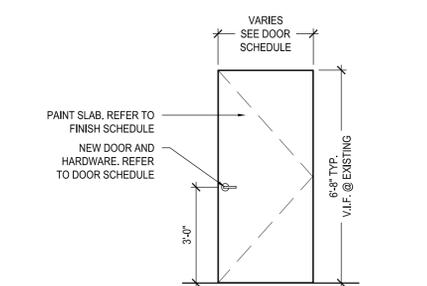
F GLASS DOOR
 SCALE: 3/8" = 1'-0"



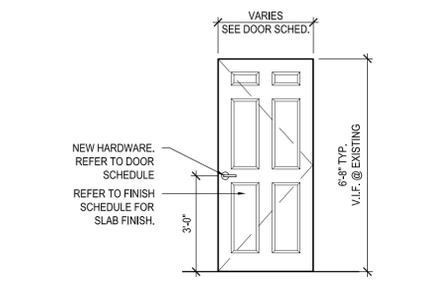
E PAIR DOORS - BIFOLD
 SCALE: 3/8" = 1'-0"



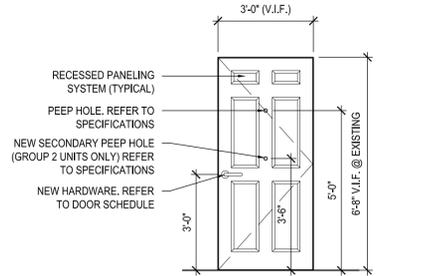
D SINGLE DOOR - BIFOLD
 SCALE: 3/8" = 1'-0"



C FLUSH DOOR
 SCALE: 3/8" = 1'-0"



B SINGLE DOOR - 6 PANEL
 SCALE: 3/8" = 1'-0"



A UNIT ENTRY
 SCALE: 3/8" = 1'-0"

DOOR AND FRAME ELEVATIONS

Monday, April 07, 2014 2:58:40 PM P:\14032_Longwood Place\Drawings\Working\CAD\Plot Files\14032_A3.20 - Door Sheet.dwg

Consultant:

Revision:

Architect of Record:

PROGRESS SET

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Project Name:

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Sheet Name:

BUILDING ELEVATIONS

Project Number:

14032

Issue Date:

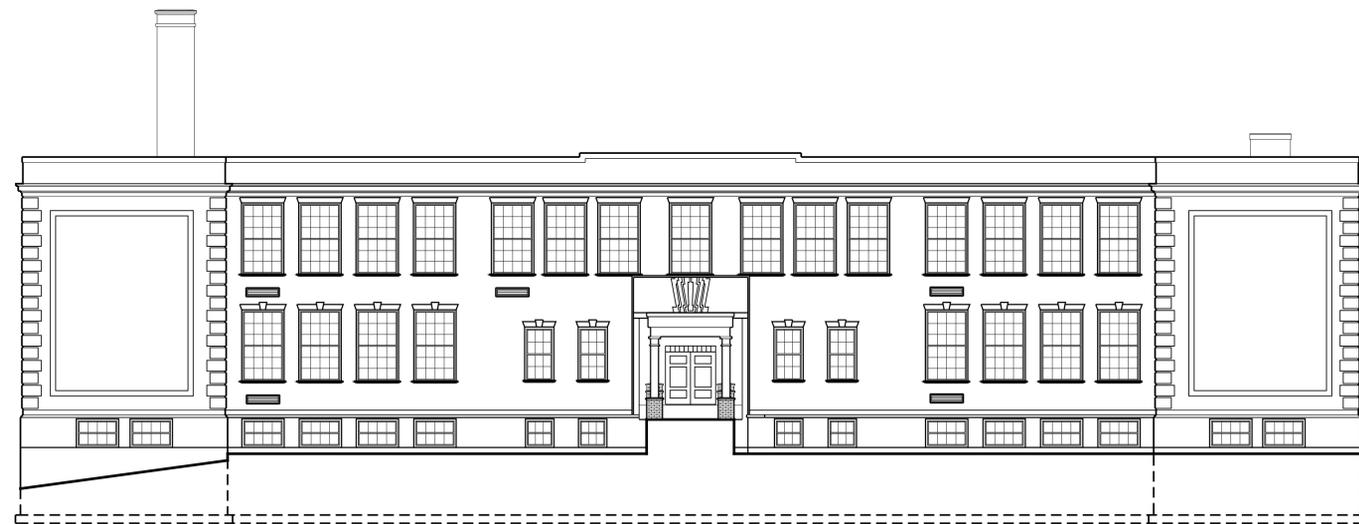
April 7, 2014

Sheet Number:

A4.01



40 WEST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



30 NORTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



20 NORTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



10 EAST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: DC

Checked: PM

Scale: AS NOTED

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

WALKWAY CANOPY

Project Number:

14032

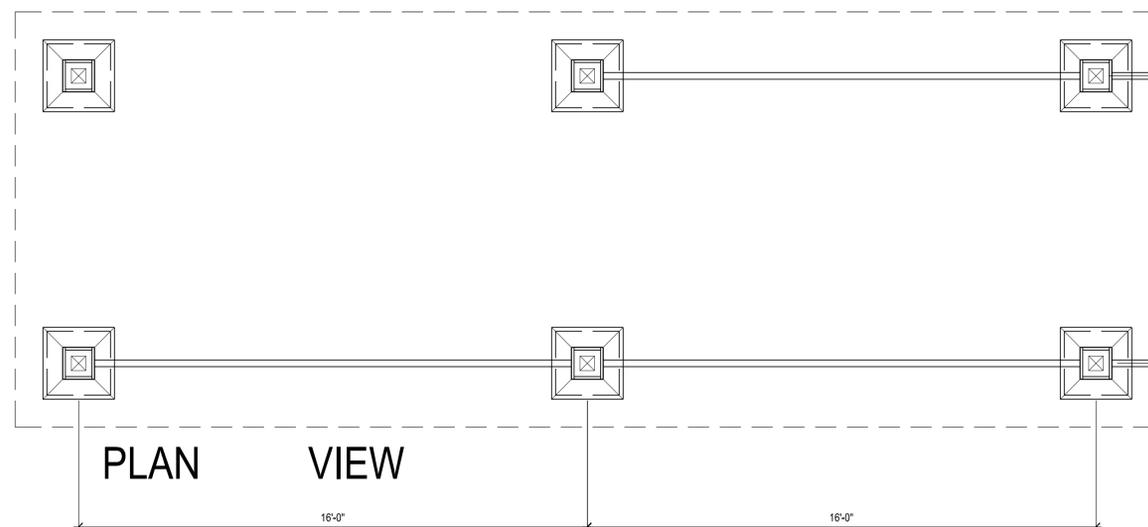
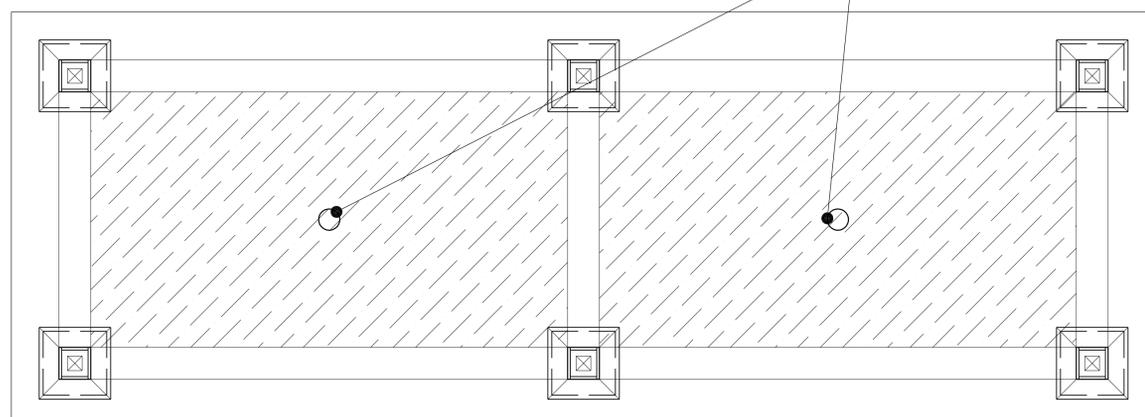
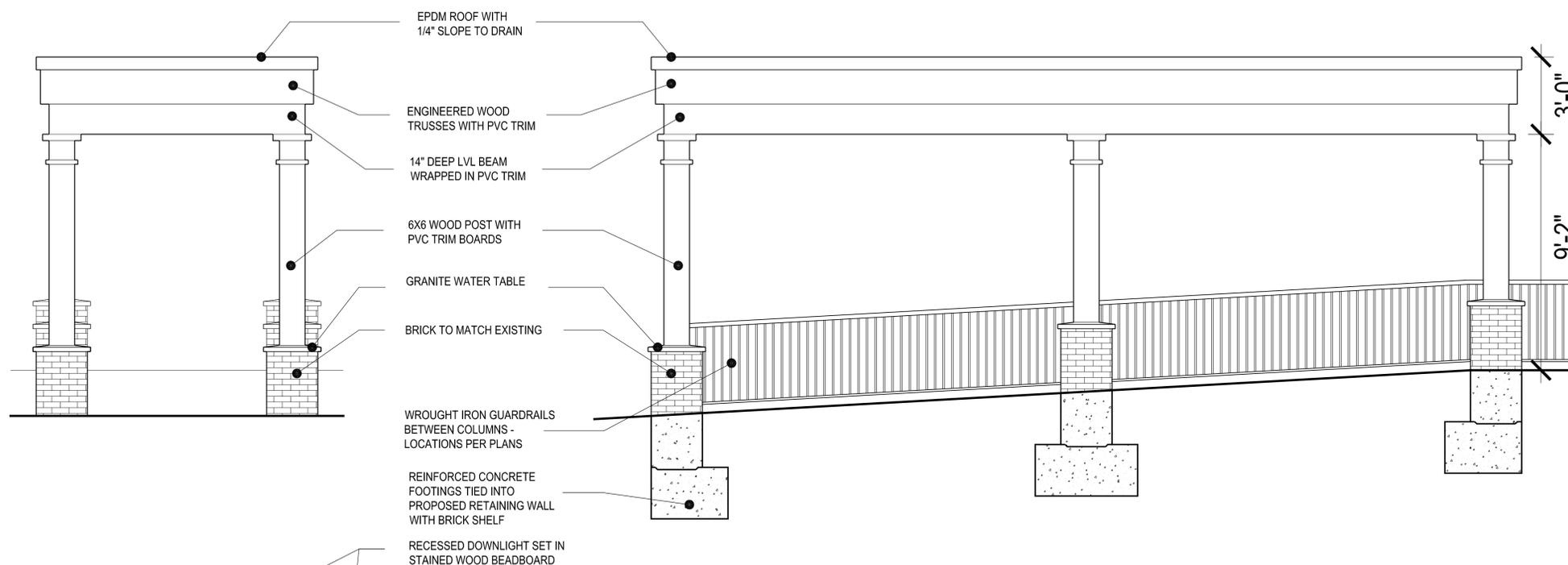
Issue Date:

April 7, 2014

Sheet Number:

A4.02

* ALL PVC TO RECEIVE 2 COATS PAINT WITH PRIMER



Consultant:

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Sheet Name:

KITCHEN PLANS AND ELEVATIONS

Project Number:

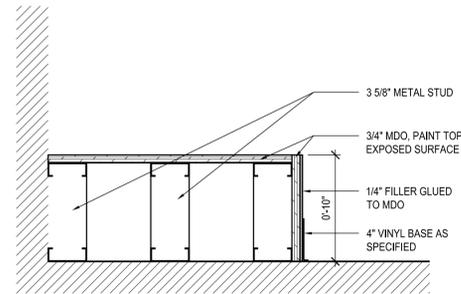
14032

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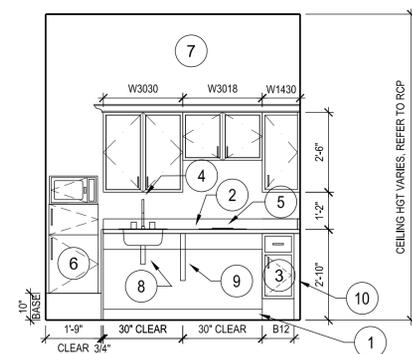
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A7.01



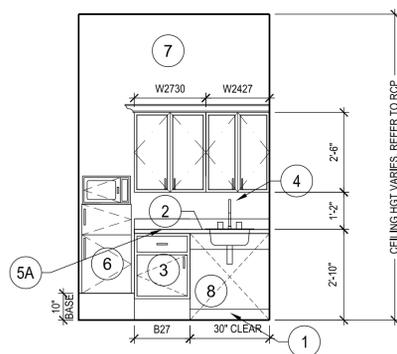
42 TYPICAL MICRO/FRIDGE BASE SECTION

SCALE: 1 1/2" = 1'-0"



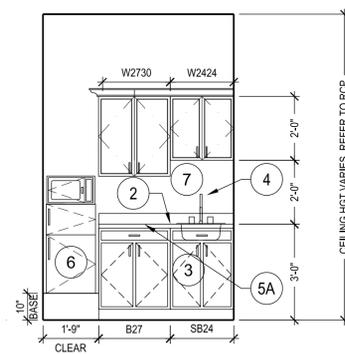
41 TYPE D UNIT KITCHEN: ELEVATION

SCALE: 3/8" = 1'-0"



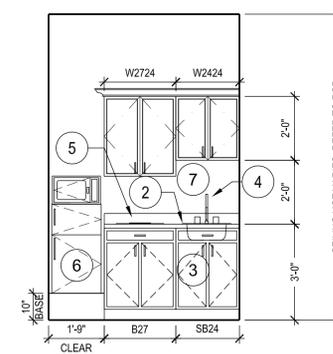
31 TYPE C HC UNIT KITCHEN: ELEVATION

SCALE: 3/8" = 1'-0"



21 TYPE B UNIT KITCHEN: ELEVATION

SCALE: 3/8" = 1'-0"



11 TYPE A UNIT KITCHEN: ELEVATION

SCALE: 3/8" = 1'-0"

GENERAL NOTES

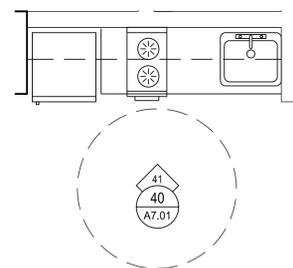
- A. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD.
- B. REFER TO DRAWINGS A2.01 - A2.07 FOR ENLARGED UNIT PLANS BY TYPE AND ADDITIONAL UNIT INTERIOR SCOPE.
- C. REFER TO DRAWINGS T1.01 - T1.04 FOR UNIT REPAIR MATRIX FOR REPLACEMENT SCOPE SPECIFIC TO EACH UNIT.
- D. REPAIR GWB WALL AND CEILING SURFACES.
- E. PROVIDE NEW PAINT AT ALL NEW AND EXISTING WALL SURFACES, SOFFITS, AND CEILINGS AT ALL KITCHENS.
- F. REFER TO ELECTRICAL DRAWINGS FOR LOAD CENTER PANEL SCOPE.
- G. ALL NEW APPLIANCES AND PLUMBING FIXTURES TO CONNECT TO EXISTING UTILITY CONNECTIONS. PROVIDE ADDITIONAL ELECTRICAL OUTLETS AT ALL NEW RANGES. REFER TO ELECTRICAL DRAWINGS.
- H. PROVIDE FINISHED ENDS AT ALL EXPOSED SIDES OF NEW CABINETS.
- I. REFER TO SPECIFICATIONS FOR APPLIANCE INFORMATION.
- J. REFER TO SPECIFICATIONS FOR FINISH SCHEDULE.
- K. REFER TO PLUMBING DRAWINGS FOR PLUMBING FIXTURE INFORMATION.
- L. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- M. PROVIDE NEW JOINT SEALANT AT ALL NEWLY REPLACED KITCHEN COUNTERS.
- N. PROVIDE NEW ENERGY STAR APPLIANCES AT ALL UNITS. REFER TO THE SPECIFICATIONS.
- O. PROVIDE NEW STAINLESS STEEL APPLIANCES AT THE COUNTRY KITCHEN AND CAFE.

KEY NOTES

1. REMOVE EXISTING AND PROVIDE NEW WALL BASE AT ALL KITCHENS.
2. REMOVE EXISTING AND PROVIDE NEW GRANITE COUNTERTOP WITH BACKSPASH AND SIDE SPLASHES.
3. REMOVE EXISTING AND PROVIDE NEW CABINETRY. REFER TO SPECIFICATIONS.
4. REMOVE EXISTING AND PROVIDE NEW LOW FLOW FAUCET AT ALL UNITS. PROVIDE NEW STAINLESS STEEL SINK AT ALL UNITS. REFER TO PLUMBING DRAWINGS FOR PLUMBING FIXTURE SCHEDULE.
5. REMOVE EXISTING AND PROVIDE NEW TWO BURNER ELECTRIC COOKTOP. NEW COOKTOP TO CONNECT TO EXISTING UTILITY CONNECTIONS. PROVIDE NEW ELECTRICAL OUTLET AS INDICATED ON THE ELECTRICAL DRAWINGS. REFER TO SPECIFICATIONS.
- 5A. REMOVE EXISTING ELECTRICAL COOKTOP. MAINTAIN EXISTING UTILITY CONNECTION FOR FUTURE USE.
6. REMOVE EXISTING AND PROVIDE NEW ENERGY STAR REFRIGERATOR/MICROWAVE. NEW REFRIGERATOR/MICROWAVE TO CONNECT TO EXISTING UTILITY CONNECTIONS.
7. GWB WALL. PROVIDE NEW PAINTED FINISH. REFER TO FINISH SCHEDULE.
8. UNDER SINK PIPE PROTECTION COVER TYPICAL IN HP KITCHENS.
9. CONCEALED BRACKET BARS ARE EQUAL.
10. ENDING PANEL OR FILLER TO MATCH CABINET COLOR. PROVIDE BY CABINET MANUFACTURER.
11. NEW SIDE-BY-SIDE REFRIGERATOR. REFER TO SPECIFICATIONS.
12. NEW WALL OVEN. REFER TO SPECIFICATION.
13. RETRACTABLE BREAD BOARD.
14. NEW FOUR BURNER ELECTRIC COOKTOP. REFER TO SPECIFICATION.
15. NEW RECIRCULATING HOOD. REFER TO SPECIFICATION.

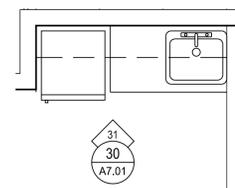
KEY TO SYMBOLS

- EXISTING WALL TO REMAIN
- ▬ PROPOSED WALL
- SV FLOORING TRANSITION. REFER TO FINISH SCHEDULE FOR 'ALT' MATERIAL. PROVIDE TRANSITION AS SCHEDULED.



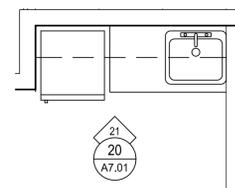
40 HC TYPE 4 UNIT KITCHEN: FLOOR PLAN

SCALE: 3/8" = 1'-0"



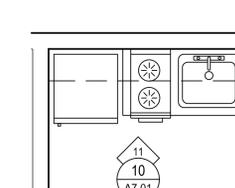
30 ALZ TYPE 3 HC UNIT KITCHEN: FLOOR PLAN

SCALE: 3/8" = 1'-0"



20 ALZ TYPE 1 UNIT KITCHEN: FLOOR PLAN

SCALE: 3/8" = 1'-0"



10 AL TYPE 1 UNIT KITCHEN: FLOOR PLAN

SCALE: 3/8" = 1'-0"

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: DQ

Checked: PH

Scale: AS NOTED

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

COUNTRY KITCHEN PLAN AND ELEVATIONS

Project Number:

14032

Issue Date:

April 7, 2014

Sheet Number:

A7.02

GENERAL NOTES

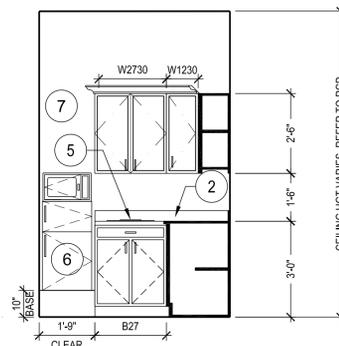
- A. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD.
- B. REFER TO DRAWINGS A2.01 - A2.07 FOR ENLARGED UNIT PLANS BY TYPE AND ADDITIONAL UNIT INTERIOR SCOPE.
- C. REFER TO DRAWINGS T1.01 - T1.04 FOR UNIT REPAIR MATRIX FOR REPLACEMENT SCOPE SPECIFIC TO EACH UNIT.
- D. REPAIR GWB WALL AND CEILING SURFACES.
- E. PROVIDE NEW PAINT AT ALL NEW AND EXISTING WALL SURFACES, SOFFITS, AND CEILINGS AT ALL KITCHENS.
- F. REFER TO ELECTRICAL DRAWINGS FOR LOAD CENTER PANEL SCOPE.
- G. ALL NEW APPLIANCES AND PLUMBING FIXTURES TO CONNECT TO EXISTING UTILITY CONNECTIONS. PROVIDE ADDITIONAL ELECTRICAL OUTLETS AT ALL NEW RANGES. REFER TO ELECTRICAL DRAWINGS.
- H. PROVIDE FINISHED ENDS AT ALL EXPOSED SIDES OF NEW CABINETS.
- I. REFER TO SPECIFICATIONS FOR APPLIANCE INFORMATION.
- J. REFER TO SPECIFICATIONS FOR FINISH SCHEDULE.
- K. REFER TO PLUMBING DRAWINGS FOR PLUMBING FIXTURE INFORMATION.
- L. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- M. PROVIDE NEW JOINT SEALANT AT ALL NEWLY REPLACED KITCHEN COUNTERS.
- N. PROVIDE NEW ENERGY STAR APPLIANCES AT ALL UNITS. REFER TO THE SPECIFICATIONS.
- O. PROVIDE NEW STAINLESS STEEL APPLIANCES AT THE COUNTRY KITCHEN AND CAFE.

KEY NOTES

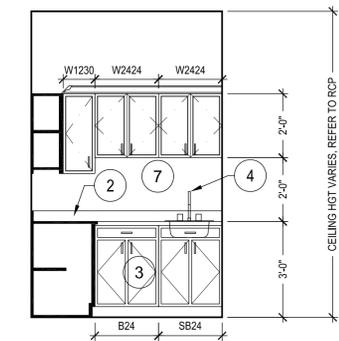
1. REMOVE EXISTING AND PROVIDE NEW WALL BASE AT ALL KITCHENS.
2. REMOVE EXISTING AND PROVIDE NEW GRANITE COUNTERTOP WITH BACKSPLASH AND SIDE SPLASHES.
3. REMOVE EXISTING AND PROVIDE NEW CABINETRY. REFER TO SPECIFICATIONS.
4. REMOVE EXISTING AND PROVIDE NEW LOW FLOW FAUCET AT ALL UNITS. PROVIDE NEW STAINLESS STEEL SINK AT ALL UNITS. REFER TO PLUMBING DRAWINGS FOR PLUMBING FIXTURE SCHEDULE.
5. REMOVE EXISTING AND PROVIDE NEW TWO BURNER ELECTRIC COOKTOP. NEW COOKTOP TO CONNECT TO EXISTING UTILITY CONNECTIONS. PROVIDE NEW ELECTRICAL OUTLET AS INDICATED ON THE ELECTRICAL DRAWINGS. REFER TO SPECIFICATIONS.
- 5A. REMOVE EXISTING ELECTRICAL COOKTOP. MAINTAIN EXISTING UTILITY CONNECTION FOR FUTURE USE.
6. REMOVE EXISTING AND PROVIDE NEW ENERGY STAR REFRIGERATOR/MICROWAVE. NEW REFRIGERATOR/MICROWAVE TO CONNECT TO EXISTING UTILITY CONNECTIONS.
7. GWB WALL. PROVIDE NEW PAINTED FINISH. REFER TO FINISH SCHEDULE.
8. UNDER SINK PIPE PROTECTION COVER TYPICAL IN HP KITCHENS.
9. CONCEALED BRACKET BARS ARE EQUAL.
10. ENDING PANEL OR FILLER TO MATCH CABINET COLOR. PROVIDE BY CABINET MANUFACTURER.
11. NEW SIDE-BY-SIDE REFRIGERATOR. REFER TO SPECIFICATIONS.
12. NEW WALL OVEN. REFER TO SPECIFICATION.
13. RETRACTABLE BREAD BOARD.
14. NEW FOUR BURNER ELECTRIC COOKTOP. REFER TO SPECIFICATION.
15. NEW RECIRCULATING HOOD. REFER TO SPECIFICATION.

KEY TO SYMBOLS

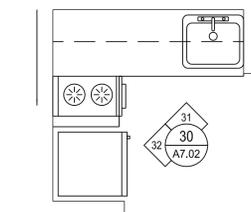
- EXISTING WALL TO REMAIN
- PROPOSED WALL
- SV FLOORING TRANSITION. REFER TO FINISH SCHEDULE FOR 'ALT' MATERIAL. PROVIDE TRANSITION AS SCHEDULED.



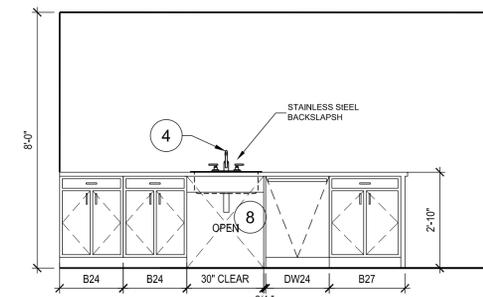
32 KITCHENETTE: ELEVATION
SCALE: 3/8" = 1'-0"



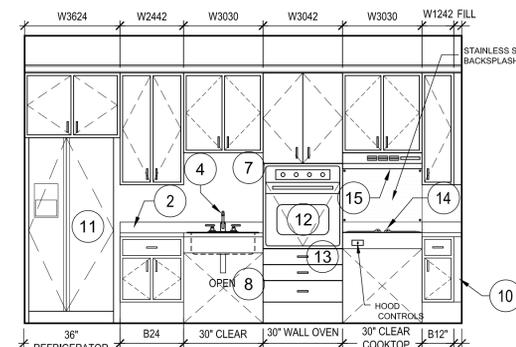
31 KITCHENETTE: ELEVATION
SCALE: 3/8" = 1'-0"



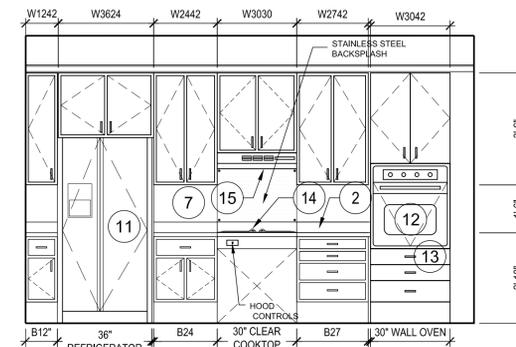
30 KITCHENETTE: FLOOR PLAN
SCALE: 3/8" = 1'-0"



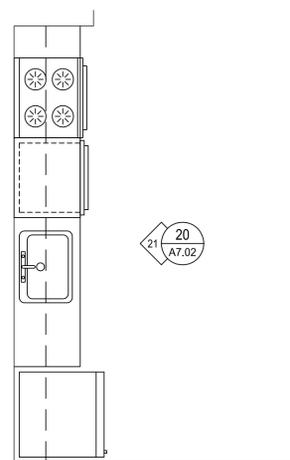
12 COUNTRY KITCHEN: ELEVATION
SCALE: 3/8" = 1'-0"



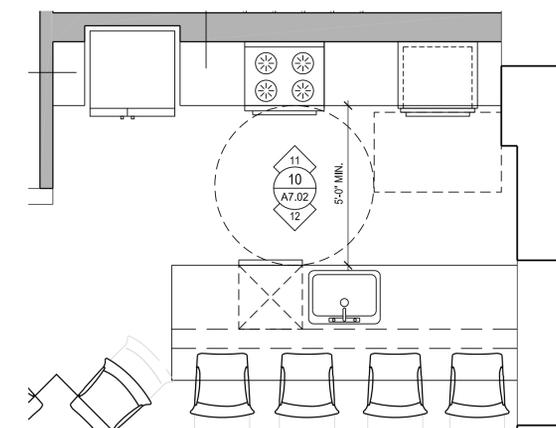
21 COUNTRY KITCHEN: ELEVATION
SCALE: 3/8" = 1'-0"



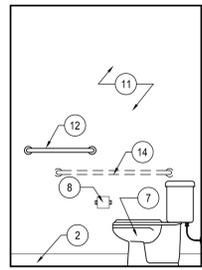
11 COUNTRY KITCHEN: ELEVATION
SCALE: 3/8" = 1'-0"



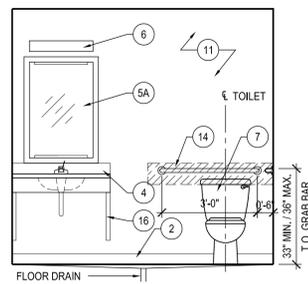
20 COUNTRY KITCHEN: FLOOR PLAN
SCALE: 3/8" = 1'-0"



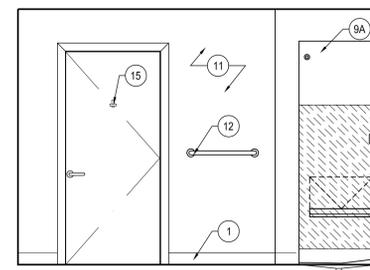
10 COUNTRY KITCHEN: FLOOR PLAN
SCALE: 3/8" = 1'-0"



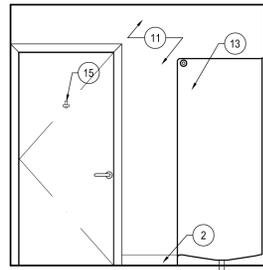
34 TYPICAL EXISTING UNIT BATH - TYPE 3 - ELEVATION
SCALE: 3/8" = 1'-0"



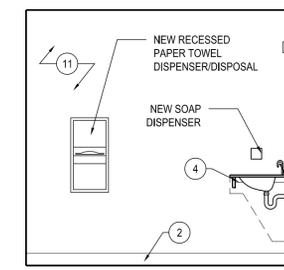
24 BATHROOM TYPE 2 (TYP. NEW PUBLIC TOILET) - ELEVATION
SCALE: 3/8" = 1'-0"



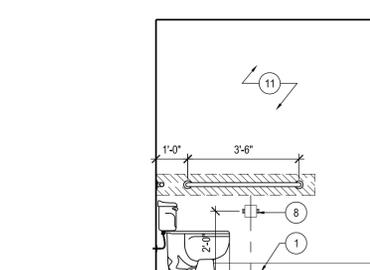
14 BATHROOM TYPE 1 (GROUP 2B) - ELEVATION
SCALE: 3/8" = 1'-0" HP UNIT TYPE H



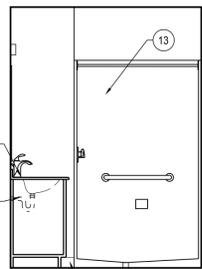
33 TYPICAL EXISTING UNIT BATH - TYPE 3 - ELEVATION
SCALE: 3/8" = 1'-0"



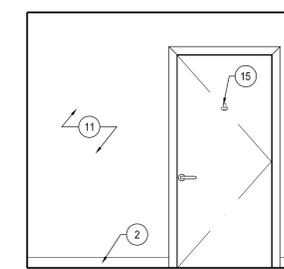
23 BATHROOM TYPE 2 (TYP. NEW PUBLIC TOILET) - ELEVATION
SCALE: 3/8" = 1'-0"



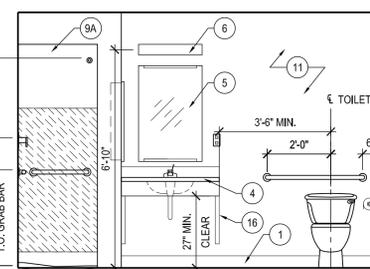
13 BATHROOM TYPE 1 (GROUP 2B) - ELEVATION
SCALE: 3/8" = 1'-0" HP UNIT TYPE H



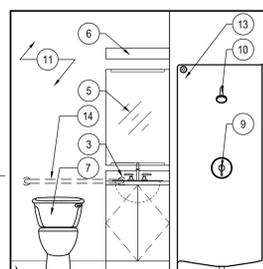
32 TYPICAL EXISTING UNIT BATH - TYPE 3 - ELEVATION
SCALE: 3/8" = 1'-0"



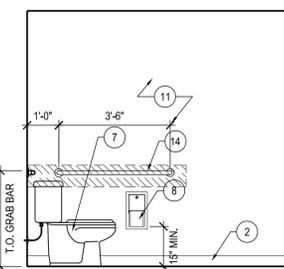
22 BATHROOM TYPE 2 (TYP. NEW PUBLIC TOILET) - ELEVATION
SCALE: 3/8" = 1'-0"



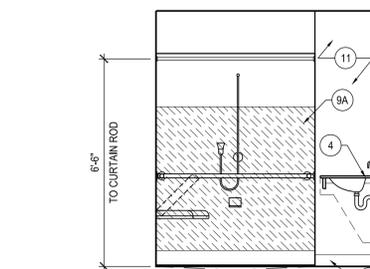
12 BATHROOM TYPE 1 (GROUP 2B) - ELEVATION
SCALE: 3/8" = 1'-0" HP UNIT TYPE H



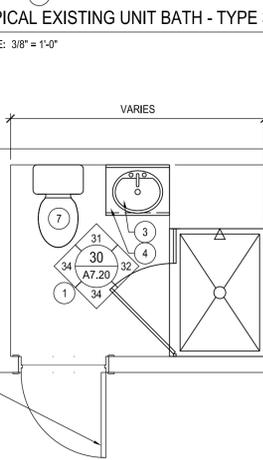
31 TYPICAL EXISTING UNIT BATH - TYPE 3 - ELEVATION
SCALE: 3/8" = 1'-0"



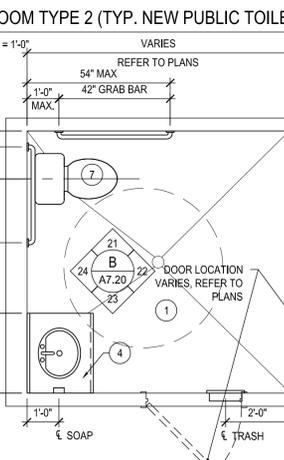
21 BATHROOM TYPE 2 (TYP. NEW PUBLIC TOILET) - ELEVATION
SCALE: 3/8" = 1'-0"



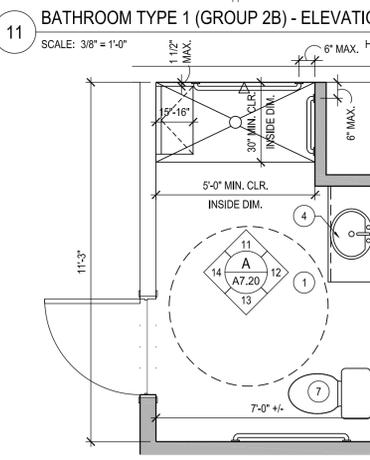
11 BATHROOM TYPE 1 (GROUP 2B) - ELEVATION
SCALE: 3/8" = 1'-0" HP UNIT TYPE H



30 TYPICAL EXISTING UNIT BATH - TYPE 3 (PLANS VARY)
SCALE: 3/8" = 1'-0" INCLUDES H.P. UNITS



20 BATHROOM TYPE 2 (TYP. NEW PUBLIC TOILET) - PLAN
SCALE: 3/8" = 1'-0"



10 BATHROOM TYPE 1 (GROUP 2B) - PLAN
SCALE: 3/8" = 1'-0" HP UNIT TYPE H

GENERAL NOTES

- A. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD.
- B. REFER TO DRAWINGS A2.01 - A2.02 FOR ENLARGED UNIT PLANS BY TYPE AND ADDITIONAL UNIT INTERIOR SCOPE.
- C. NOT USED.
- D. NEW SHEET VINYL FLOORING TO BE INSTALLED AT ALL UNIT BATHROOMS. VERIFY EXISTING CONDITIONS IN FIELD. PROPERLY PREPARE AND PATCH EXISTING SUBSTRATE/FINISH AS REQUIRED.
- E. REMOVE EXISTING AND PROVIDE NEW VANITIES AND MEDICINE CABINETS AT UNIT BATHROOMS. NEW VANITY / MEDICINE CABINET SIZE AND LOCATION TO MATCH EXISTING BEING REMOVED. VERIFY ALL CONDITIONS IN FIELD PRIOR TO REMOVAL.
- F. REMOVE EXISTING AND PROVIDE NEW WALL SCONCE LIGHT FIXTURE AT UNIT BATHROOMS. NEW LIGHT FIXTURES TO CONNECT TO EXISTING WIRING / SWITCHING. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE.
- G. PROVIDE NEW MOLD AND MOISTURE RESISTANT GWB IN ALL LOCATIONS IN BATHROOMS WHERE NEW GWB IS INSTALLED.
- H. PROVIDE NEW PAINT AT ALL WALL SURFACES, SOFFITS, AND CEILINGS AT ALL UNIT BATHROOMS.
- I. PROVIDE NEW TOILETS SEATS AT BATHROOMS WHERE TOILETS ARE TO REMAIN.
- J. COVER AND PROTECT ALL TUBS AND DRAINS DURING CONSTRUCTION.
- K. REMOVE EXISTING AND PROVIDE NEW LOW-FLOW SHOWER HEADS IN EXISTING LOCATIONS THROUGHOUT. NEW SHOWER HEADS TO CONNECT TO EXISTING PLUMBING.
- L. REMOVE EXISTING AND PROVIDE NEW TUB / SHOWER MIXING VALVES THROUGHOUT UNIT BATHROOMS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- M. REPLACE ALL SHUTOFF VALVES AT TOILETS, SINKS, AND TUBS. REFER TO PLUMBING DRAWINGS.
- N. ALL NEW PLUMBING FIXTURES TO CONNECT TO EXISTING PLUMBING CONNECTIONS AT DWELLING UNITS. REFER TO PLUMBING DRAWINGS.
- O. PROVIDE FINISHED PANEL AT ALL EXPOSED SIDES OF NEW CABINETS.
- P. REFER TO SPECIFICATIONS FOR FINISH SCHEDULE.
- Q. REFER TO PLUMBING DRAWINGS FOR PLUMBING FIXTURE INFORMATION.
- R. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- S. PROVIDE NEW JOINT SEALANT AT ALL NEW COUNTERS AND BACK/SIDE SPLASHES
- T. PROVIDE NEW JOINT SEALANT AT BASE OF ALL NEW TOILETS.

KEY NOTES

1. PROVIDE NEW SHEET VINYL FLOORING AT BATHROOMS. REFER TO GENERAL NOTE D FOR FLOOR PREP REQUIREMENTS. REFER TO FINISH SCHEDULE.
2. REMOVE EXISTING AND PROVIDE NEW WALL BASE.
3. REMOVE EXISTING VANITY CABINET AND PROVIDE NEW.
4. REMOVE EXISTING AND PROVIDE NEW CULTURED MARBLE COUNTERTOP WITH INTEGRAL SINK AND NEW FAUCET.
5. REMOVE EXISTING AND PROVIDE NEW WOOD FRAMED, SURFACE MOUNTED MIRROR. VERIFY SIZE AND EXISTING CONDITIONS IN FIELD.
- 5A. NEW FRAMED MIRROR.
6. REMOVE EXISTING AND PROVIDE NEW WALL SCONCE LIGHT FIXTURES. CONNECT TO EXISTING WIRING / SWITCHING. REFER TO ELECTRICAL DRAWINGS.
7. REMOVE EXISTING AND PROVIDE NEW TOILET. PROVIDE NEW SEAT AT ALL TOILETS.
8. REMOVE EXISTING AND PROVIDE NEW TOILET PAPER HOLDER.
9. REMOVE EXISTING AND PROVIDE NEW MIXING VALVE IN EXISTING LOCATION.
- 9A. REMOVE EXISTING AND PROVIDE NEW ONE PIECE FIBERGLASS SHOWER. PROVIDE NEW MIXING VALVE AND ADJUSTABLE SHOWER ON 30" ROD WITH 60" FLEXIBLE HOSE. GRAB BARS AND SEAT TO BE INTEGRAL TO SHOWER UNIT.
10. REMOVE EXISTING AND PROVIDE NEW LOW FLOW 1.5 GPM SHOWER HEAD. REFER TO PLUMBING DRAWINGS. REFER TO GENERAL NOTE K.
11. NEW OR EXISTING GWB WALL FINISH. PAINT PER FINISH SCHEDULE.
12. REMOVE EXISTING AND PROVIDE NEW TOWEL BARS.
13. EXISTING SHOWER TO REMAIN.
14. NEW STAINLESS STEEL GRAB BARS AT HP BATHS.
15. PROVIDE NEW STAINLESS STEEL ROBE HOOK.
16. LAVATORY SUPPORT CONCEALED BRACKETS

KEY TO SYMBOLS

- NEW WALL TO REMAIN. EXTENT OF NEW WALLS VARIES. REFER TO FLOOR PLANS
- EXTENT OF NEW WALL BLOCKING. NOT ALL BLOCKING IS SHOWN. PROVIDE AS REQUIRED.

Consultant:

Revision:

Architect of Record:

PROGRESS SET

Drawn: DQ

Checked: PM

Scale: AS NOTED

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

BATHROOM PLANS AND ELEVATIONS

Project Number:

14032

Issue Date:

April 7, 2014

Sheet Number:

A7.20

Monday, April 07, 2014 3:06:09 PM
P:\14032_Longwood Place\Drawings\Working\CAD\Plot Files\14032_A8.01b - Reflected Ceiling Plans.dwg



GENERAL NOTES

- A. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD.
- B. REFER TO DRAWINGS A2.01 - A2.07 FOR ENLARGED UNIT PLANS BY TYPE AND UNIT INTERIOR SCOPE.
- C. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- D. REMOVE AND LEGALLY DISPOSE OF ALL EXISTING MATERIALS, EQUIPMENT, FURNISHINGS AND COMPONENTS AS REQUIRED TO ALLOW FOR THE PROPER COMPLETION OF THE SCOPE OF WORK.
- E. REVISE EXISTING ELECTRICAL, FIRE ALARM, FIRE PROTECTION, MECHANICAL AND PLUMBING WORK AS REQUIRED TO ACCOMPLISH THE SCOPE.
- F. PROVIDE FIRESAFING AT BREACHES IN RATED WALLS AND ASSEMBLIES.
- G. PROVIDE NEW JOINT SEALANT WHERE DISSIMILAR MATERIALS (PROPOSED OR EXISTING).
- H. PROVIDE ADD ALTERNATE PRICING TO INSTALL 3-1/2" CROWN MOLDING TO CONCEAL NEW FIRE ALARM WIRING. PRIME AND PAINT. REFER TO FIRE ALARM DRAWINGS FOR LOCATIONS.
- I. PREPARE AND REPAIR ALL DAMAGED FINISHES AS AFFECTED BY THE SCOPE OF WORK.
- J. REPLACE ALL ACOUSTIC CEILING TILES THROUGH OUT BUILDING. PROVIDE DEDUCT ALTERNATE PRICE TO LEAVE EXISTING ACT IN PLACE EXCEPT AT ALZ WING.
- K. PAINT ALL WALLS AND CEILINGS AT EXISTING COMMON AREAS AS WELL AS THOSE AFFECTED BY SCOPE. REFER TO SPECIFICATION FOR FINISH SCHEDULE.
- L. PROVIDE FIRE RETARDANT WOOD BLOCKING FOR ALL NEW FURNISHINGS, ACCESSORIES AND EQUIPMENT.
- M. PROVIDE NEW WOOD TRIM TO MATCH EXISTING PROFILES AT ALL AREAS AFFECTED BY THE SCOPE.
- N. ALL PROPOSED WORK IS TO BE COMPLETED WHILE RESIDENTS REMAIN IN PLACE. GC IS RESPONSIBLE FOR COORDINATING ACCESS WITH OPERATIONS, PHASING WORK APPROPRIATELY TO MINIMIZE INCONVENIENCE AND CLEANING AS REQUIRED TO MAINTAIN A SAFE AND CLEAN ENVIRONMENT FOR RESIDENTS.

KEY NOTES

- 1. NONE.

KEY TO SYMBOLS

- EXISTING CEILING TO REMAIN.
- NEW 2X2 ACT AND GRID.
- LIGHT GAUGE METAL FRAMING AND GWB. HEIGHT TO MATCH EXISTING SOFFIT.

tat |
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Revision:

Architect of Record:

PROGRESS SET

Drawn: DC

Checked: PM

Scale: AS NOTED

Key Plan:

Project Name:

**LCB Residences at
Reading**

75 PEARL STREET

Sheet Name:

**REFLECTED
CEILING PLANS**

Project Number:

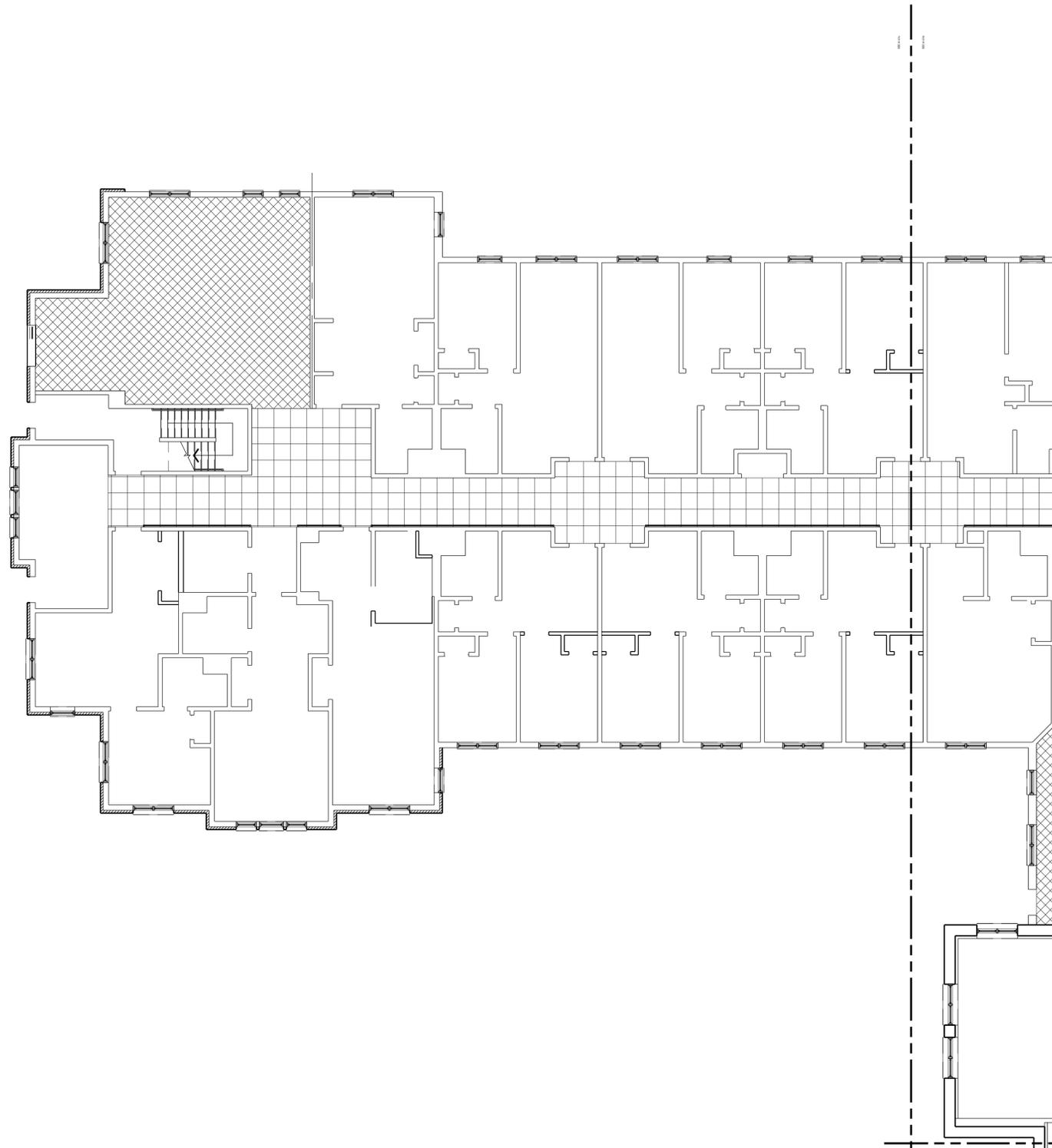
14032

Issue Date:

April 7, 2014

Sheet Number:

A8.01b



GENERAL NOTES

- A. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD.
- B. REFER TO DRAWINGS A2.01 - A2.07 FOR ENLARGED UNIT PLANS BY TYPE AND UNIT INTERIOR SCOPE.
- C. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- D. REMOVE AND LEGALLY DISPOSE OF ALL EXISTING MATERIALS, EQUIPMENT, FURNISHINGS AND COMPONENTS AS REQUIRED TO ALLOW FOR THE PROPER COMPLETION OF THE SCOPE OF WORK.
- E. REVISE EXISTING ELECTRICAL, FIRE ALARM, FIRE PROTECTION, MECHANICAL AND PLUMBING WORK AS REQUIRED TO ACCOMPLISH THE SCOPE.
- F. PROVIDE FIRESAFING AT BREACHES IN RATED WALLS AND ASSEMBLIES.
- G. PROVIDE NEW JOINT SEALANT WHERE DISSIMILAR MATERIALS (PROPOSED OR EXISTING).
- H. PROVIDE ADD ALTERNATE PRICING TO INSTALL 3-1/2" CROWN MOLDING TO CONCEAL NEW FIRE ALARM WIRING. PRIME AND PAINT. REFER TO FIRE ALARM DRAWINGS FOR LOCATIONS.
- I. PREPARE AND REPAIR ALL DAMAGED FINISHES AS AFFECTED BY THE SCOPE OF WORK.
- J. REPLACE ALL ACOUSTIC CEILING TILES THROUGH OUT BUILDING. PROVIDE DEDUCT ALTERNATE PRICE TO LEAVE EXISTING ACT IN PLACE EXCEPT AT ALZ WING.
- K. PAINT ALL WALLS AND CEILINGS AT EXISTING COMMON AREAS AS WELL AS THOSE AFFECTED BY SCOPE. REFER TO SPECIFICATION FOR FINISH SCHEDULE.
- L. PROVIDE FIRE RETARDANT WOOD BLOCKING FOR ALL NEW FURNISHINGS, ACCESSORIES AND EQUIPMENT.
- M. PROVIDE NEW WOOD TRIM TO MATCH EXISTING PROFILES AT ALL AREAS AFFECTED BY THE SCOPE.
- N. ALL PROPOSED WORK IS TO BE COMPLETED WHILE RESIDENTS REMAIN IN PLACE. GC IS RESPONSIBLE FOR COORDINATING ACCESS WITH OPERATIONS. PHASING WORK APPROPRIATELY TO MINIMIZE INCONVENIENCE AND CLEANING AS REQUIRED TO MAINTAIN A SAFE AND CLEAN ENVIRONMENT FOR RESIDENTS.

KEY NOTES

- 1. NONE.

KEY TO SYMBOLS

-  EXISTING CEILING TO REMAIN.
-  NEW 2X2 ACT AND GRID.
-  LIGHT GAUGE METAL FRAMING AND GWB. HEIGHT TO MATCH EXISTING SOFFIT.

tat |
the architectural team

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Consultant:

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Architect of Record:

PROGRESS SET

Drawn: DC

Checked: PM

Scale: AS NOTED

Key Plan:

Project Name:

LCB Residences at Reading

75 PEARL STREET

Sheet Name:

**REFLECTED
CEILING PLANS**

Project Number:

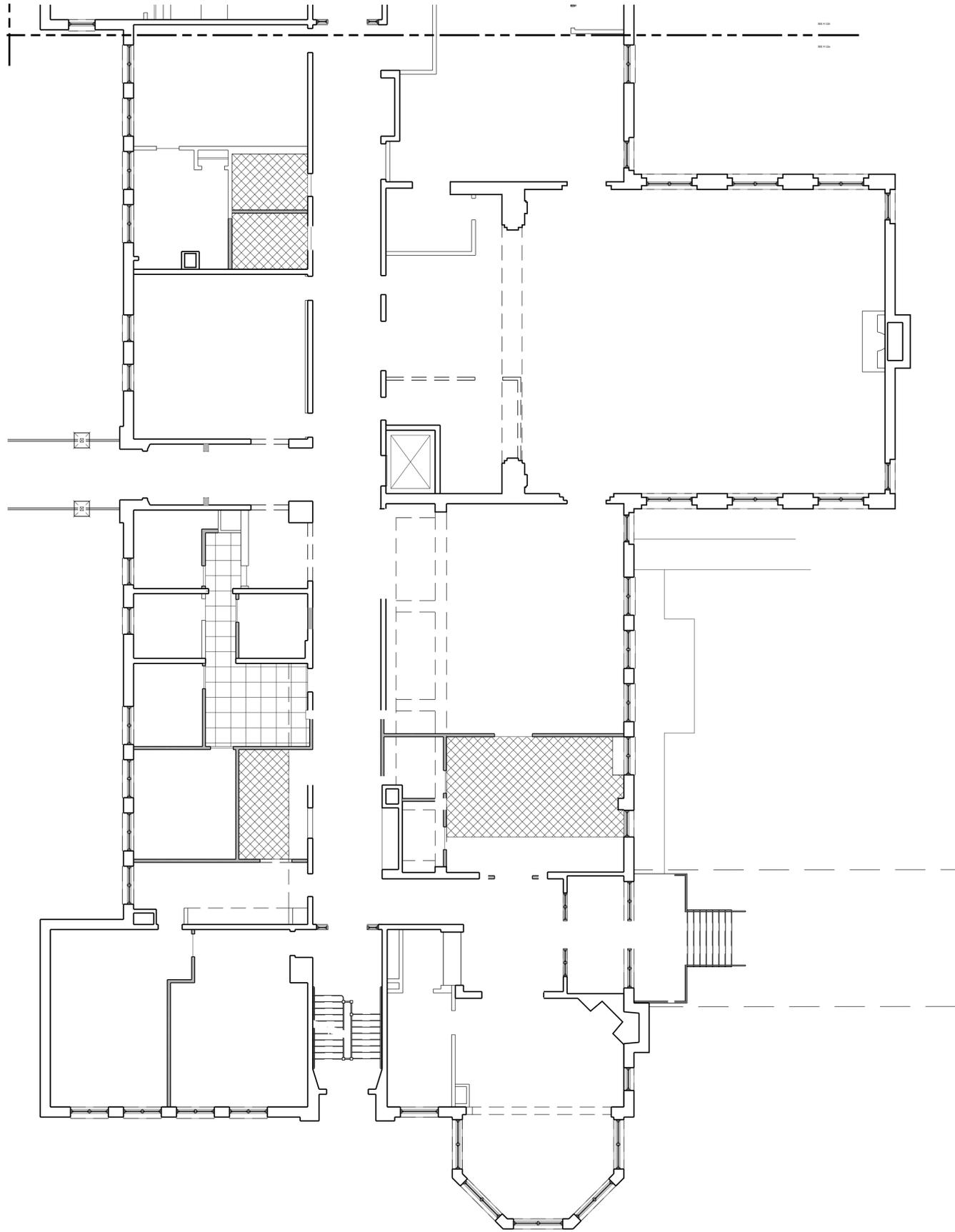
14032

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April 7, 2014

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A8.01c



GENERAL NOTES

- A. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD.
- B. REFER TO DRAWINGS A2.01 - A2.07 FOR ENLARGED UNIT PLANS BY TYPE AND UNIT INTERIOR SCOPE.
- C. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- D. REMOVE AND LEGALLY DISPOSE OF ALL EXISTING MATERIALS, EQUIPMENT, FURNISHINGS AND COMPONENTS AS REQUIRED TO ALLOW FOR THE PROPER COMPLETION OF THE SCOPE OF WORK.
- E. REVISE EXISTING ELECTRICAL, FIRE ALARM, FIRE PROTECTION, MECHANICAL AND PLUMBING WORK AS REQUIRED TO ACCOMPLISH THE SCOPE.
- F. PROVIDE FIRESAFING AT BREACHES IN RATED WALLS AND ASSEMBLIES.
- G. PROVIDE NEW JOINT SEALANT WHERE DISSIMILAR MATERIALS (PROPOSED OR EXISTING).
- H. PROVIDE ADD ALTERNATE PRICING TO INSTALL 3-1/2" CROWN MOLDING TO CONCEAL NEW FIRE ALARM WIRING. PRIME AND PAINT. REFER TO FIRE ALARM DRAWINGS FOR LOCATIONS.
- I. PREPARE AND REPAIR ALL DAMAGED FINISHES AS AFFECTED BY THE SCOPE OF WORK.
- J. REPLACE ALL ACOUSTIC CEILING TILES THROUGH OUT BUILDING. PROVIDE DEDUCT ALTERNATE PRICE TO LEAVE EXISTING ACT IN PLACE EXCEPT AT ALZ WING.
- K. PAINT ALL WALLS AND CEILINGS AT EXISTING COMMON AREAS AS WELL AS THOSE AFFECTED BY SCOPE. REFER TO SPECIFICATION FOR FINISH SCHEDULE.
- L. PROVIDE FIRE RETARDANT WOOD BLOCKING FOR ALL NEW FURNISHINGS, ACCESSORIES AND EQUIPMENT.
- M. PROVIDE NEW WOOD TRIM TO MATCH EXISTING PROFILES AT ALL AREAS AFFECTED BY THE SCOPE.
- N. ALL PROPOSED WORK IS TO BE COMPLETED WHILE RESIDENTS REMAIN IN PLACE. GC IS RESPONSIBLE FOR COORDINATING ACCESS WITH OPERATIONS. PHASING WORK APPROPRIATELY TO MINIMIZE INCONVENIENCE AND CLEANING AS REQUIRED TO MAINTAIN A SAFE AND CLEAN ENVIRONMENT FOR RESIDENTS.

KEY NOTES

- 1. NONE.

KEY TO SYMBOLS

	EXISTING CEILING TO REMAIN.
	NEW 2X2 ACT AND GRID.
	LIGHT GAUGE METAL FRAMING AND GWB. HEIGHT TO MATCH EXISTING SOFFIT.

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Consultant:

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Architect of Record:

PROGRESS SET

Drawn: DC
Checked: PM
Scale: AS NOTED
Key Plan:

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LCB Residences at Reading

75 PEARL STREET

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